



**CITY OF DANIA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

DATE: September 23, 2014

TO: Robert Baldwin, City Manager

VIA: Marc LaFerrier, AICP, Director *[Signature]*

FROM: Mariluz Maldonado, City Planner *[Signature]*
Corinne Lajoie, AICP, Principal Planner, LEED GA *[Signature]*

SUBJECT: **SP-011-14:** The applicant, Eval Levy, on behalf of the property owner, Ofer Ben Shoshan, is requesting site plan approval for the property located at 4430 SW 32nd Avenue. (Second Reading)

REQUEST

Site plan approval to construct 55 residential units with associated parking and amenities.

PROPERTY INFORMATION

ZONING: Multiple Family (16 du/ac) Residential District (RM-1)

LAND USE DESIGNATION: Irregular Residential Density (10 du/a)

PROJECT BACKGROUND

On June 24, 2014, this item was presented to the City Commission on First Reading. At that time, both the City Commission and the public had several concerns which included: drainage, boat docks and access to the canal, seawall conditions, building architecture and landscaping.

Since then, the applicant has been working with staff to address the voiced concerns. The applicant also had a meeting with the community/adjacent neighbors on September 9, 2014. As such the plans have been revised. The following changes were made to the plans:

- A note was added to indicating improvements will be made to the seawall
- A note was added indicating portions of the canal will be cleaned and dredged
- The elevations were revised to add larger windows
- The landscape plan was revised to remove palms and add larger shade trees above code requirements
- Additional drainage was added along SW 32nd Avenue

SITE PLAN

The subject parcel is located north of Griffin Road and west of SW 30th Avenue and it is approximately 4.9 acres. As previously indicated, the applicant is proposing to construct a total of 55 residential units, ranging from townhouses to penthouses. The development will contain ten, 3-story buildings and amenities such as a clubhouse and pool. No variances are being requested for this development.

The site plan was reviewed by the Development Review Committee (DRC) and the following comments are outstanding:

Planning

1) Dedication of Park Land: Section 805-110 establishes the park land demand calculation based on the following formula: (3 acres/1,000 population x number of units (55) x number of estimated persons per dwelling unit (2.5) = 17,968.50 sq. ft. of required park land for this development. A minimum of 6% of total property must be provided as park land (net size of the property (217,500 sq. ft.) x 6% = 13,050 sq. ft.). Private open space may be credited towards the requirement and the development will provide both a pool (2,800 sq. ft.) and a playground (1,936.62 sq. ft.) for a total of 4,736.32 sq. ft. in park land credits. The applicant is required to provide 17,968.50 sq. ft. in park land minus the credits (4,736.32 sq. ft.), therefore, the total required would be 13,232.18 sq. ft. of land. Based on the appraisal date of May 26, 2014, the appraised value of the property is \$2,000,000.00; therefore, the required payment in lieu of dedication is \$121,675.22 (appraised value of land (\$2,000,000.00 as per attached appraisal-Exhibit B) / net size of the property (217,500 sq. ft.) x required park land for the development (13,232.18 sq. ft.) = \$121,675.22), provided that the applicant has made a satisfactory demonstration of eligibility for credits for private open space or private recreation spaces. Prior to issuance of a building permit, Sec. 805-110 of the LDC must be satisfied by payment of a fee in lieu of land dedication in the amount of \$121,675.22. (Planning Division). [NOTE –Sec. 805-110 (F)(5) requires that “the facilities proposed for the park, open space and recreational use are in substantial accordance with the recreational needs of the future residents of the plat as determined by the city commission, the recommendation of the planning and zoning board and the appropriate city departments].

2) The Applicant is to provide a written agreement to the City Attorney establishing that the use of such private open space is restricted to park, open space and recreational purposes by recorded covenants which shall run with the land in favor of the current and future owners of property within the tract, which Covenants cannot be released or amended without the consent of the City Commission after public hearing. Private ownership and maintenance of the open space shall be established and such dedication or payment shall be completed before the issuance of building permits will be authorized by the City.

STAFF RECOMMENDATION

Approval of the site plan with the above conditions.

RESOLUTION NO. 2014-050

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA, APPROVING THE SITE PLAN (SP-011-14) SUBMITTED BY EVAL LEVY ON BEHALF OF THE PROPERTY OWNER OFER BEN SHOSHAN FOR PROPERTY LOCATED AT 4430 SW 32ND AVENUE IN THE CITY OF DANIA BEACH, FLORIDA; PROVIDING FOR CONFLICTS; FURTHER, PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Chapter 28, Part 6, of the Dania Beach Land Development Code (“LDC”), Article 635, entitled “Development Review Procedures and Requirements”, states that site plan approval is required as a condition to the issuance of a building permit; and

WHEREAS, Eval Levy on behalf of the property owner Ofer Ben Shoshan is requesting site plan approval to allow the construction of fifty five (55) residential units with associated parking and amenities at 4430 SW 32nd Avenue in the City of Dania Beach;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA:

Section 1. That certain application (SP-011-14) for site plan approval, a copy of which is attached as composite Exhibit “A”, and made part of and incorporated into this Resolution by this reference, is found to be in compliance with Article 635 of the LDC, and is approved with the following conditions (references to Sections are those in the LDC, unless otherwise specified):

As requested by the Development Review Committee (DRC) on April 24th, 2014:

Planning:

1) Dedication of Park Land: Section 805-110 establishes the park land demand calculation based on the following formula: (3 acres/1,000 population x number of units (55) x number of estimated persons per dwelling unit (2.5) = 17,968.50 sq. ft. of required park land for this development. A minimum of 6% of total property must be provided as park land (net size of the property (217,500 sq. ft.) x 6% = 13,050 sq. ft.). Private open space may be credited towards the requirement and the development will provide both a pool (2,800 sq. ft.) and a playground (1,936.62 sq. ft.) for a total of 4,736.32 sq. ft. in park land credits. The applicant is required to provide 17,968.50 sq. ft. in park land minus the credits (4,736.32 sq. ft.), therefore, the total required would be 13,232.18 sq. ft. of land. Based on the appraisal date of May 26, 2014, the appraised value of the property is \$2,000,000.00; therefore, the

required payment in lieu of dedication is \$121,675.22 (appraised value of land (\$2,000,000.00 as per attached appraisal-Exhibit B) / net size of the property (217,500 sq. ft.) x required park land for the development (13,232.18 sq. ft.) = \$121,675.22), provided that the applicant has made a satisfactory demonstration of eligibility for credits for private open space or private recreation spaces. Prior to issuance of a building permit, Sec. 805-110 of the LDC must be satisfied by payment of a fee in lieu of land dedication in the amount of \$121,675.22. (Planning Division). [NOTE—Sec. 805-110 (F)(5) requires that “the facilities proposed for the park, open space and recreational use are in substantial accordance with the recreational needs of the future residents of the plat as determined by the city commission, the recommendation of the planning and zoning board and the appropriate city departments].

2) The Applicant is to provide a written agreement to the City Attorney establishing that the use of such private open space is restricted to park, open space and recreational purposes by recorded covenants which shall run with the land in favor of the current and future owners of property within the tract, which Covenants cannot be released or amended without the consent of the City Commission after public hearing. Private ownership and maintenance of the open space shall be established and such dedication or payment shall be completed before the issuance of building permits will be authorized by the City.

3) The applicant shall obtain approvals from Broward County Aviation Department (BCAD) and Federal Aviation Administration (FAA) prior to Building Permits.

Section 2. Based upon the criteria set forth in Section 635 of the LDC, all site plan approvals shall automatically expire and become null and void unless the applicant files a complete building permit application with construction drawings for all improvements shown on the site plan, within eighteen (18) months from the date of adoption of this Resolution.

Section 3. Issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

Section 4. All resolutions or parts of resolutions in conflict with this Resolution are repealed to the extent of such conflict.

Section 5. This Resolution shall be in force and take effect immediately upon its passage and adoption.

PASSED AND ADOPTED on _____, 2014.

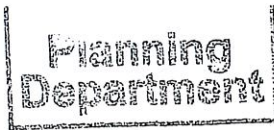
ATTEST:

LOUISE STILSON, CMC
CITY CLERK

WALTER B. DUKE, III
MAYOR

APPROVED AS TO FORM AND CORRECTNESS:

THOMAS J. ANSBRO
CITY ATTORNEY



City of Dania Beach, Florida
Department of Community Development
Planning and Zoning Division
(954) 924-6805 X3643
(954) 922-2687 Fax

Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: _____

Date Rec'd: 1/22/14

Petition No.: SP-011-14

(SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 4430 SW 32ND AVENUE, DANIA BEACH, FL 33312

Lot(s): 2-11 Block: 1 Subdivision: _____

Recorded Plat Name: "CANAL GROVES"

Folio Number(s): 5042 30 01 0020 Legal Description: LOT 2 THRU 11 IN BLOCK 1, OF CANAL ROAD ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 3.

Applicant/Consultant/Legal Representative (circle one) EVAL LEVY / MGR.

Address of Applicant: 2999 NE 191ST STREET, PH2, AVENTURA, FL 33

Business Telephone: (305) 933-4646 Home: _____ Fax: (954) 615-1112

E-mail address: DANANGROUPE@GMAIL.COM, robyn@skydevelopment.com

Name of Property Owner: OFER REN SHOSHAN

Address of Property Owner: 5331 SW 38TH WAY, FORT LAUDERDALE, FL 33312

Business Telephone: (305) 933-4646 Home: - Fax: (954) 615-1112

Explanation of Request: RESIDENTIAL DEVELOPMENT OF 11 BLDGS. W. 55 RESIDENTIAL UNITS
For **Plats** please provide proposed Plat Name for **Variations** please attach **Criteria Statement** as per **Section 625.40 of the Land Development Code.**

Prop. Net Acreage: N/A Gross Acreage: 21,500 Prop. Square Footage: 150,983 SQ. FT.

Existing Use: RM-1 Proposed Use: SAME - RM-1

Is property owned individually, by a corporation, association, or a joint venture? CORPORATION

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize _____ (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: *Ofer Ben Shoshan*
(Owner / Agent signature*)

BEFORE ME THIS 31ST DAY OF DECEMBER, 2013

By:

Ofer Ben Shoshan
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary 
(Signature of Notary Public - State of FLORIDA)

Personally known or Produced Identification _____

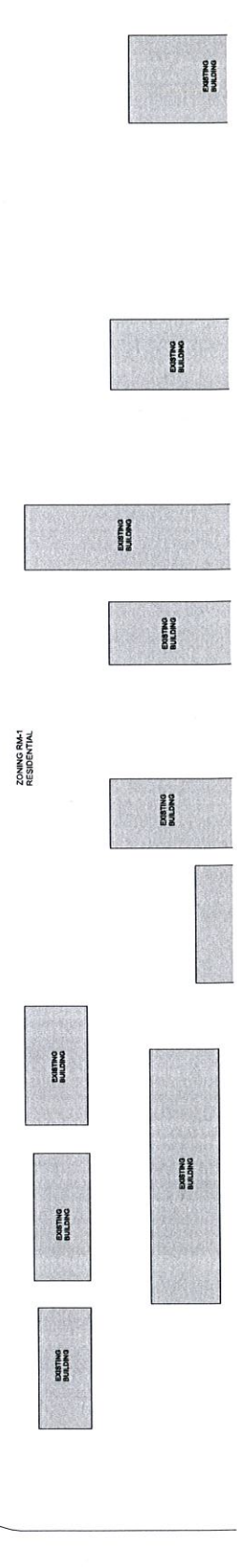
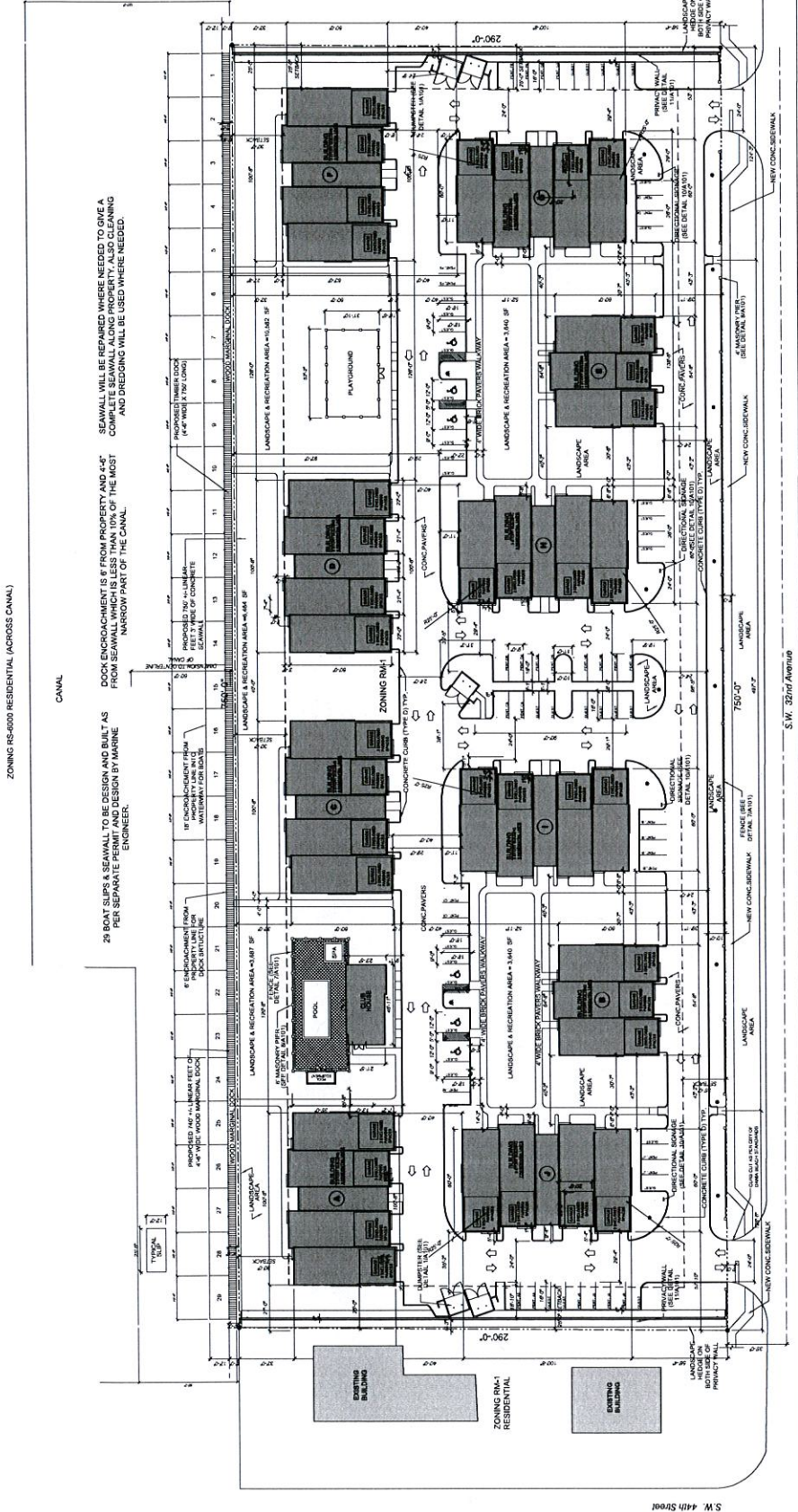
Type of identification produced: _____ or Drivers License _____

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

**ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF
BEFORE PROCESSING OCCURS.**

EXHIBIT A



 <p>Owner B & H Dania Beach, LLC 2999 NE 191 Street, PH 2 Aventura, FL 33180</p>	<p>Architect DANAN GROUP INC. - OLIVER DANAN, AIA ARCHITECTURE + PLANNING 500 Parkway Drive, Suite 1000 Dania Beach, FL 33017 Tel: 754.227.2482 Email: danan@danagroup.com</p>	<p>Project Aqua Bella Townhouses</p>	<p>Title Site Plan</p>	<p>Address 4550 SW 32nd Avenue Dania Beach, FL 33312 - Lots 2-11, Block 1</p>	<p>Date 05.15.2014</p> <p>Scale 1"=30'-0"</p> <p>Sheet No. A100</p>
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AQUA BELLA TOWNHOUSES & PENTHOUSES
- 4430 SW 32nd AVENUE
PROPOSED MULTIPLE BUILDING RESIDENTIAL
DEVELOPMENT
DANIA BEACH, FLORIDA



B & H DANIA BEACH, LLC
 T 305 933-4646 | 2995 NE 191 STREET | AVENTURA
 PH SUITE# 2 | FLORIDA 33180



DANAN GROUP, INC. ARCHITECTURE & DESIGN
 T 754 227-5482 | 550 FAIRWAY DRIVE | DEERFIELD BEACH
 DANANGROUP@GMAIL.COM | SUITE# 103B | FLORIDA 33441

ISSUED FOR SITE PLAN APPROVAL - City Commission
 May 15, 2014

PROJECT CONTACT LIST

ARCHITECTURAL

DANAN GROUP, INC
 CONTACT: DANAN DANAN
 550 FAIRWAY DRIVE, SUITE 103B
 DEERFIELD BEACH, FL 33441
 TEL: 754-227-5482
 EMAIL: danan@danangroup.com

LANDSCAPE

DOUGLAS M. RUTH ASSOC.
 CONTACT: DOUGLAS M. RUTH
 1077 N.E. 1ST AVENUE
 SUITE 100
 FORT LAUDERDALE, FL 33304
 TEL: 954-441-0871
 FAX: 954-441-0872
 EMAIL: dm@dmruth.com

CIVIL ENGINEER

SCHAMBERK SHISKIN & ASSOC.

CONTACT: JAMES TELLO
 1000 N.W. 10TH AVENUE
 SUITE 200
 MIAMI, FL 33136
 TEL: 305-441-2244
 FAX: 305-441-2244

SURVEYOR

NOVA SURVEYORS INC
 CONTACT: JAMES TELLO
 1000 N.W. 10TH AVENUE
 SUITE 200
 MIAMI, FL 33136
 TEL: 305-441-2244
 FAX: 305-441-2244

LIGHTING ENGINEERING

HNGS ENGINEERS

CONTACT: ANDREW KRALCZAK
 1000 N.W. 10TH AVENUE
 SUITE 200
 MIAMI, FL 33136
 TEL: 305-441-2244
 FAX: 305-441-2244

PHOTOMETRIC DRAWINGS

CONTACT: JAMES TELLO
 1000 N.W. 10TH AVENUE
 SUITE 200
 MIAMI, FL 33136
 TEL: 305-441-2244
 FAX: 305-441-2244

DRAWING INDEX

ARCHITECTURAL DRAWINGS

- A001 DEVELOPMENT DATA SHEET / LOCATION MAP
- 15-1000 SITE SURVEY
- A100 FLOOR PLAN DETAILS
- A101 FLOOR PLAN BUILDING TYPE 1
- A200 FLOOR PLAN BUILDING TYPE 2 & 3
- A201 ELEVATIONS BUILDING TYPE 1 & 2
- A202 ELEVATIONS BUILDING TYPE 3
- A300 3D PERSPECTIVE
- A301 3D PERSPECTIVE
- A302 3D PERSPECTIVE
- A303 3D PERSPECTIVE
- A304 3D PERSPECTIVE
- A305 3D PERSPECTIVE

LANDSCAPE DRAWINGS

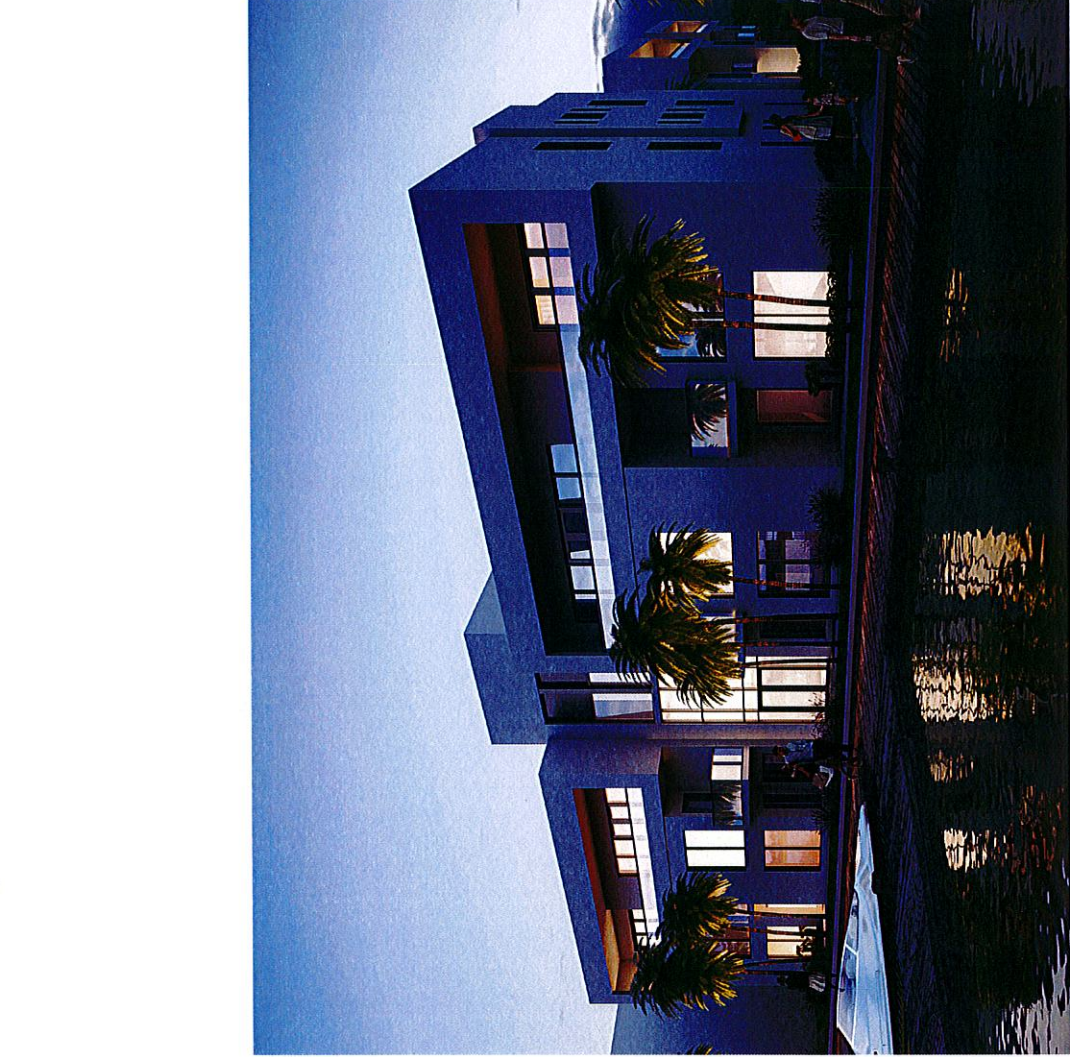
- L-10 SITE PLAN
- L-11 SITE PLAN

CIVIL ENGINEERING DRAWINGS

- C-1 COVER SHEET
- C-2 WATER & SEWER LAYOUT
- C-3 WATER & SEWER LAYOUT
- C-4 WATER & SEWER LAYOUT
- C-5 WATER & SEWER LAYOUT
- C-6 PAVEMENT GRADING & CHANNELS KEY SHEET
- C-7 PAVEMENT GRADING & CHANNELS LAYOUT
- C-8 PAVEMENT GRADING & CHANNELS LAYOUT
- C-9 PAVEMENT GRADING & CHANNELS LAYOUT
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- C-49 PAVEMENT GRADING & CHANNELS LAYOUT
- C-50 PAVEMENT GRADING & CHANNELS LAYOUT

PHOTOMETRIC DRAWINGS

- P-100 PHOTOMETRIC PLAN SITE PLAN



PROJECT DEVELOPMENT DATA
4430 SW 32nd Avenue, Dania Beach Florida 33312

H. Overall Building Statistics

Total Residential Net Floor Area (including garages)	135,141 sq.ft.	Total Common Space Gross Floor Area	15,842 sq.ft.	Total Gross Building Area	150,983 sq.ft.
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I. Parking Statistics

Total Residential Parking (55 units x 1.75)	97	Required	97	Provided	97
Total Residential Guest Parking (55 units / 5)	11	Required	11	Provided	13
Total Parking	108	Required	108	Provided	110

Note: 38 legal Parking Spaces are enclosed inside 38 private 2-Car Garages

NOTES:

- LIVE-A-BOARDS ARE PROHIBITED ON THIS SITE; DOCKS ARE FOR UPLAND OWNERS ONLY.
- BUILDING TO BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM
- CONSTRUCTION METHOD TO INCLUDE A NOISE PROOF SYSTEM IN ORDER TO REDUCE INTERIOR NOISE LEVEL AND PROTECT AGAINST NOISE CREATED AIRPORT TAKE-OFF AND LANDING WHICH IS NEARBY. SOUND INSULATION REQUIREMENTS WILL MEET STANDARD OF ARTICLE 221 AND THE PUBLIC FACILITIES REQUIREMENT S AS PER ARTICLE 805 IN THE DANIA BEACH LAND DEVELOPMENT CODE.
- Calculation for compliance with requirements of Section 805.110 Recreation and Open Space Level of Service as follows: 3/1000 standard from the code x 55 units x 2.5 estimated persons per dwelling unit = 0.4125 acres or 0.003 x 55 x 2.5 = 0.4125

A. Project: Multiple building project comprising of 55 Residential units, (38 Townhouses and 17 Penthouses)

B. Legal Description: LOT 2 THRU 11, IN BLOCK 1, OF CANAL GROVES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 31, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

C. Zoning: Existing Zoning: RM-1

Proposed Setbacks:	Required	Provided
Front	25'-0"	25'-0"
Side (Right)	25'-0"	25'-0"
Side (Left)	25'-0"	30'-0"
Rear	30'-0"	

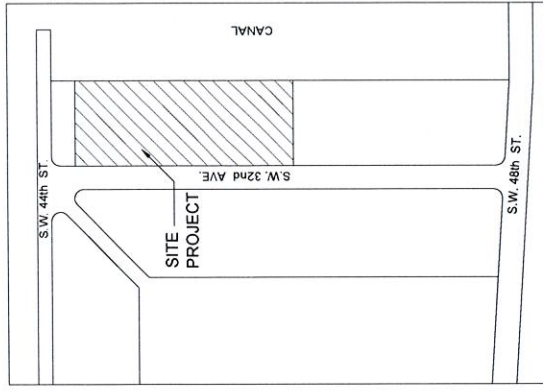
E. Parking Requirements:
Parking Requirements per City of Dania Beach, Off-street Parking article 265
Disabled parking as required by the Florida Building Code.

F. Site Coverage Calculations:
Total Net Site Area 217,500 sq.ft. or 4.9 AC
Gross Site Area 243,750 sq.ft. or 5.5 AC
Number of units permitted by Zoning = 55 (10 units x Gross site area 5.5)
Number of units provided = 55 units
Building Footprint Area (Lot Coverage by Roofed Structures 56,395 sq.ft.)
Building Height 38'-8"
Site Coverage Percentage 26%
Pervious Site Area (Landscape Area) 85,786 sq.ft. 39%
Calculations for building separations (worse case: 60+60+38+6+36.6= 197.2 / 6 = 32.8') 40'-0" Min. separation required.
Recreation Space Requirement (55 units x 400 SF=22,000 SF) 28,013 sq.ft. Provided
Vehicular Use Area 63,897 sq.ft. 29%
Sidewalk Area 11,422 sq.ft. 5%

G. Residential Statistics - Floor Areas
NOTE: All floor areas are "Gross Floor Area" as defined by the Dania Beach Zoning Bylaw

Building Type	Number of Buildings	Number of Units per Type	Area of Residential	Area of Private Garage	Area of Common Spaces	Total Area Per Building	Total Gross Area
Type 1	7	6	13,137 sq.ft.	1,859 sq.ft.	1,854 sq.ft.	16,860 sq.ft.	118,020 sq.ft.
Type 2	2	3	6,118 sq.ft.	1,402 sq.ft.	0 sq.ft.	7,520 sq.ft.	15,040 sq.ft.
Type 3	1	8	13,200 sq.ft.	1,859 sq.ft.	1,801 sq.ft.	16,860 sq.ft.	16,860 sq.ft.
Club House	1	0	0 sq.ft.	0 sq.ft.	1,063 sq.ft.	1,063 sq.ft.	1,063 sq.ft.
Total	11						150,983 sq.ft.

Unit Type	Number of Units	Unit Area Interior	Unit Area Garage	Unit Area Terraces	Total Unit Area (Interior + Garage)	Total Net Unit Area
Type A	10	2,045 sq.ft.	477 sq.ft.	76 sq.ft.	2,522 sq.ft.	25,220 sq.ft.
Type B	8	2,129 sq.ft.	224 sq.ft.	88 sq.ft.	2,353 sq.ft.	18,824 sq.ft.
Type C1	2	2,028 sq.ft.	224 sq.ft.	88 sq.ft.	2,252 sq.ft.	18,016 sq.ft.
Type C2	2	2,028 sq.ft.	448 sq.ft.	88 sq.ft.	2,476 sq.ft.	4,952 sq.ft.
Type D	10	2,045 sq.ft.	477 sq.ft.	76 sq.ft.	2,522 sq.ft.	25,220 sq.ft.
Type E	6	2,426 sq.ft.	227 sq.ft.	300 sq.ft.	2,653 sq.ft.	21,224 sq.ft.
Type F	7	2,473 sq.ft.	231 sq.ft.	300 sq.ft.	2,704 sq.ft.	18,928 sq.ft.
Type G	1	1,416 sq.ft.	231 sq.ft.	233 sq.ft.	1,647 sq.ft.	1,647 sq.ft.
Type H	1	1,110 sq.ft.	0 sq.ft.	67 sq.ft.	1,110 sq.ft.	1,110 sq.ft.
TOTAL	55					135,141 sq.ft.



Owner
B & H Dania Beach, LLC
2668 NE 191 Street, PH 2
Aventura, FL 33180

Architect

DANAN GROUP, INC. - DANIEL S. DANAN, AIA
ARCHITECTURE + PLANNING
500 Federal Drive, Suite 105B
Aventura, FL 33180
Tel: 754.227.5462 Email: danan@danangroup.com

Project

Aqua Bella Townhouses

Title

Project Data / Location Map

Address

4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

Date

05.15.2014

Scale

A001

Sheet No.

ZONING RS-4000 RESIDENTIAL (ACROSS CANAL)

CANAL

SEAWALL WILL BE REPAIRED WHERE NEEDED TO GIVE A COMPLETE SEAWALL ALONG PROPERTY. ALSO CLEANING AND DREDGING WILL BE USED WHERE NEEDED.

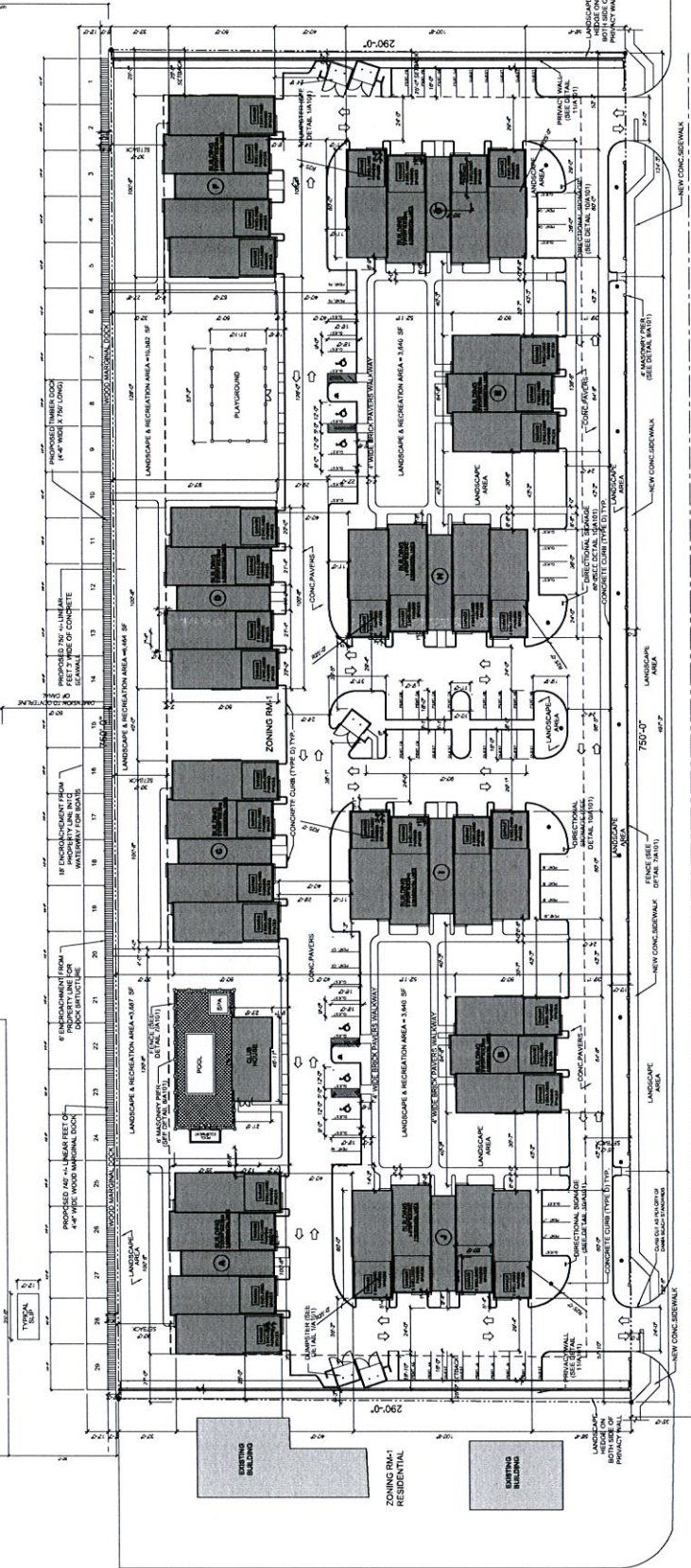
DOCK ENCROACHMENT IS FROM PROPERTY AND 4'-0" FROM SEAWALL. LESS THAN 10% OF THE MOST NARROW PART OF THE CANAL.

28 BOAT SLIPS & SEAWALL TO BE DESIGN AND BUILT AS PER SEPARATE PLAN DESIGN BY MARINE ENGINEER.

PROVIDED PER MEANS SET OF 4'-0" WIDE CONCRETE DOCK STRUCTURE

PROVIDED PER MEANS SET OF 4'-0" WIDE CONCRETE DOCK STRUCTURE

PROVIDED PER MEANS SET OF 4'-0" WIDE CONCRETE DOCK STRUCTURE



NORTH

Scale

Date

Address

Title

Project

Architect

Owner

Sheet No.

Date

Address

Title

Project

Architect

Owner

A100

05.15.2014

4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

Site Plan

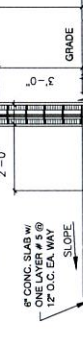
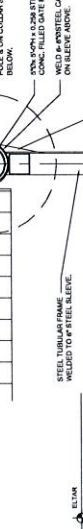
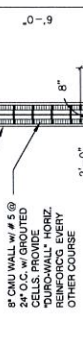
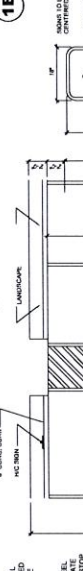
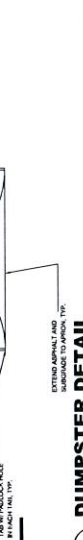
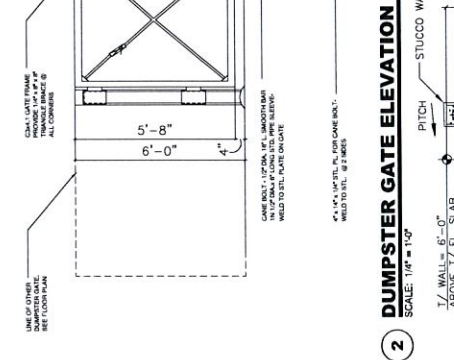
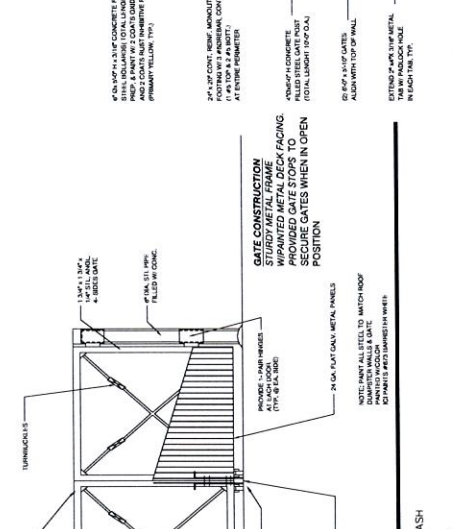
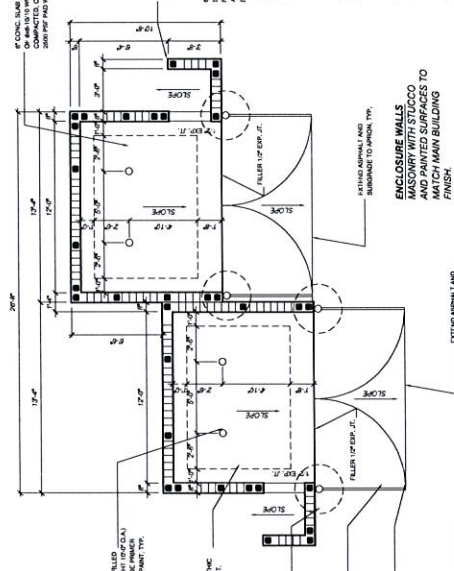
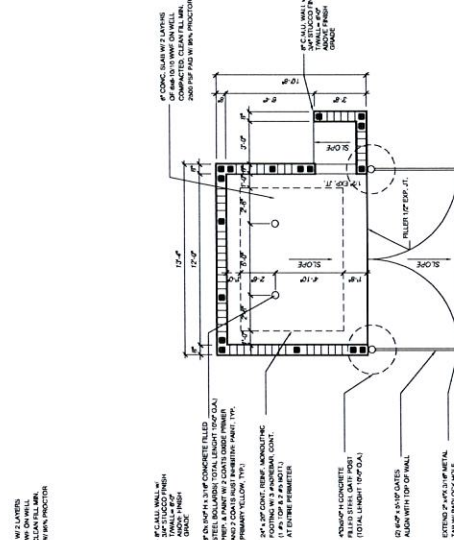
Aqua Bella Townhouses

DAMAN GROUP, INC - OLIVIER DAMAN, AIA
ARCHITECTURE + PLANNING
2959 NE 19th Street, PH 2
Dania Beach, Florida 33411
Tel: 754-527-7442 Email: damangroup@gmail.com

B & H Dania Beach, LLC
2959 NE 19th Street, PH 2
Aventura, FL 33180



B & H Dania Beach, LLC



Sheet No.	Date	Scale
A101	05.15.2014	
Address	4550 SW 32nd Avenue Dania Beach, FL 33312 - Lots 2-11, Block 1	
Title	Site Plan Details	
Project	Aqua Bella Townhouses	
Architect	DAMAN GROUP, INC. - OLIVIER DAMAN, AIA 5500 CHERRY LANE, SUITE 100 DANIA BEACH, FLORIDA 33004 TEL: 754-227-7955 Email: danamgroup@gmail.com	
Owner	B & H Dania Beach, LLC 2899 NE 191 Street, PH 2 Aventura, FL 33150	



Owner
B & H Dania Beach, LLC
2899 NE 191 Street, PH 2
Aventura, FL 33180

Architect
DANAN GROUP, INC. - OLIVIER DANAN, AIA
ARCHITECTURE + PLANNING
Overfield Square, Suite 3344
147-754-2277-5482 Email: dananogroup@gmail.com

Project
Aqua Bella Townhouses

Title
Floor Plans Building Type 1

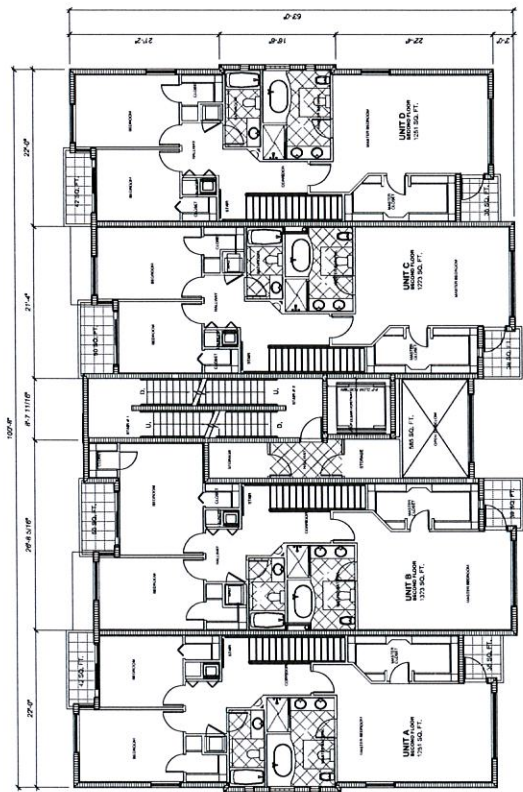
Address

4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

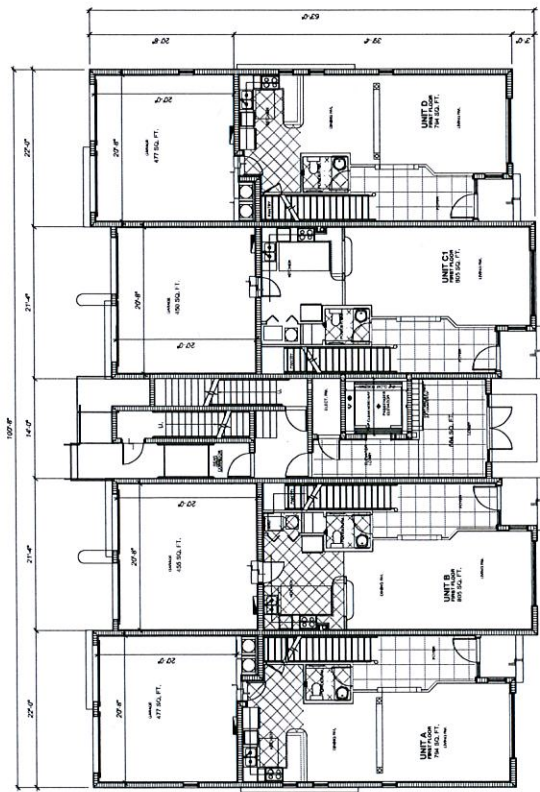
Date
05.15.2014

Scale
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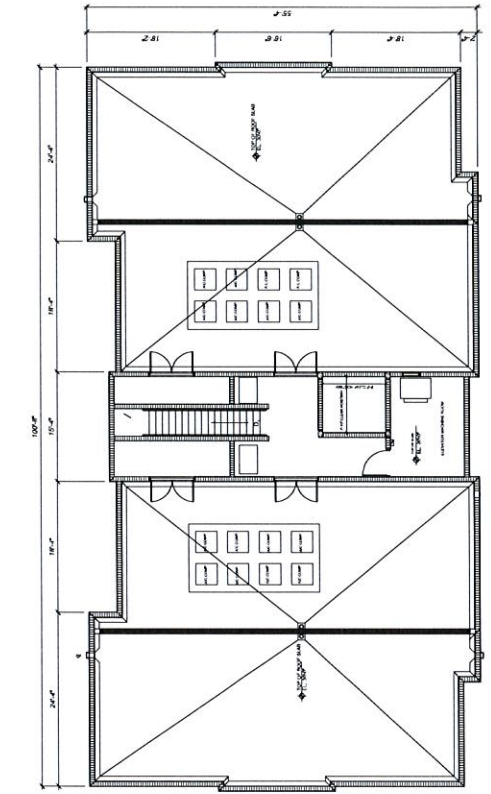
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A200



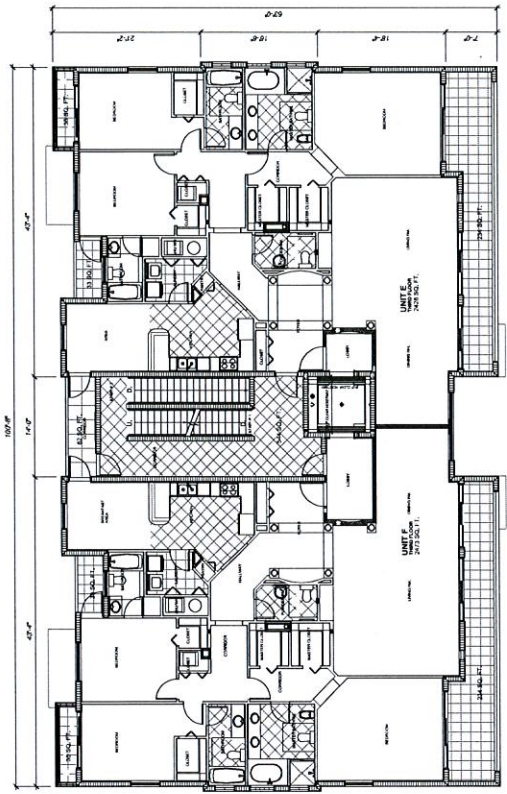
2nd Floor Plan



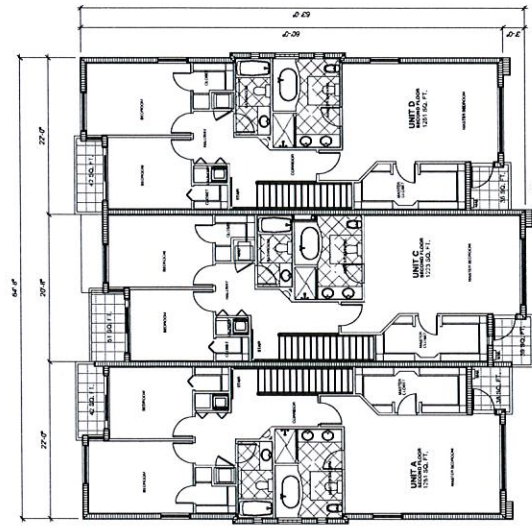
1st Floor Plan



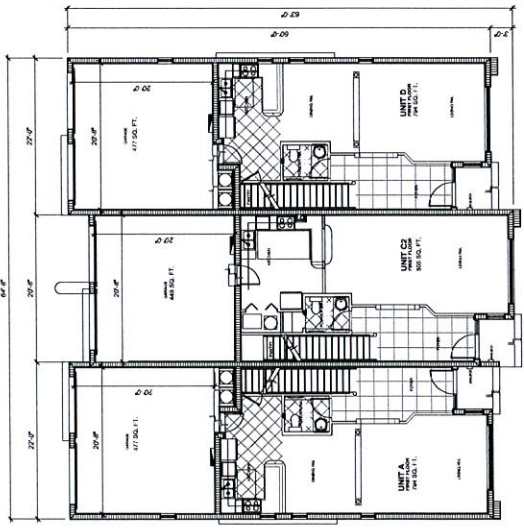
Roof Plan



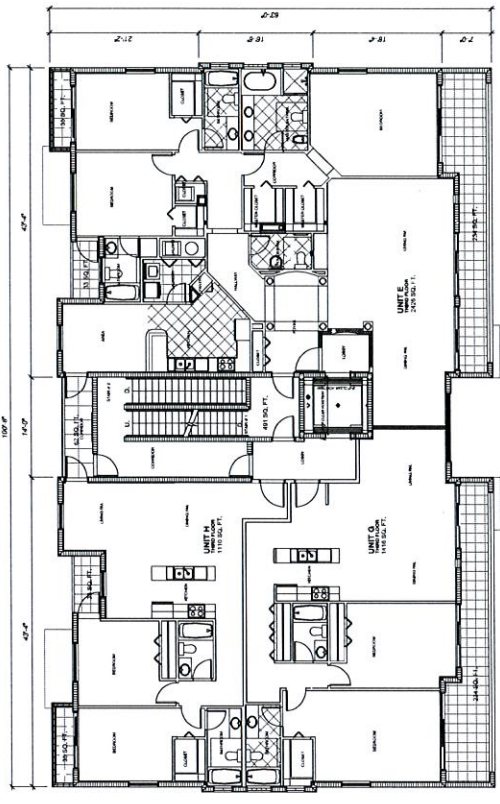
3rd Floor Plan



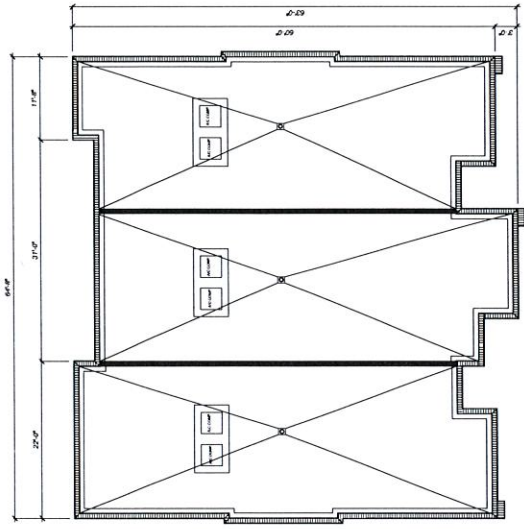
2nd Floor Plan (BLDG Type 2)



1st Floor Plan (BLDG Type 2)



3rd Floor Plan (BLDG Type 3) - one building only



Roof Plan (BLDG Type 2)

	Owner B & H Dania Beach, LLC 2650 NE 1st Street, PH 2 Aventura, FL 33180	Architect DAMAN GROUP, INC - OLIVIER DAMAN, AIA 5907 FARMWAY DRIVE, SUITE 1030 DAVIE, FLORIDA 33414 TEL: 754-521-7200 - Email: damanogroup@gmail.com	Project Aqua Bella Townhouses	Title Floor Plans Building Type 2 & 3	Address 4550 SW 32nd Avenue Dania Beach, FL 33312 - Lots 2-11, Block 1	Date 05.15.2014	Scale 1/8"=1'-0"	Sheet No. A201
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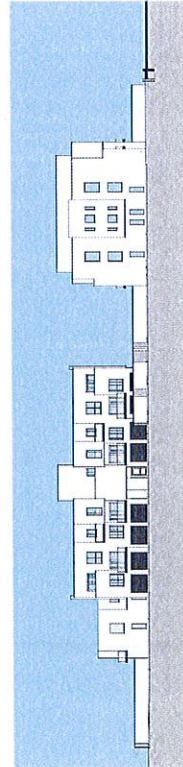
DATE PLOTTED: 05/15/2014 10:00 AM



EAST ELEVATION (WATERWAY)



WEST ELEVATION (ORANGE DRIVE)



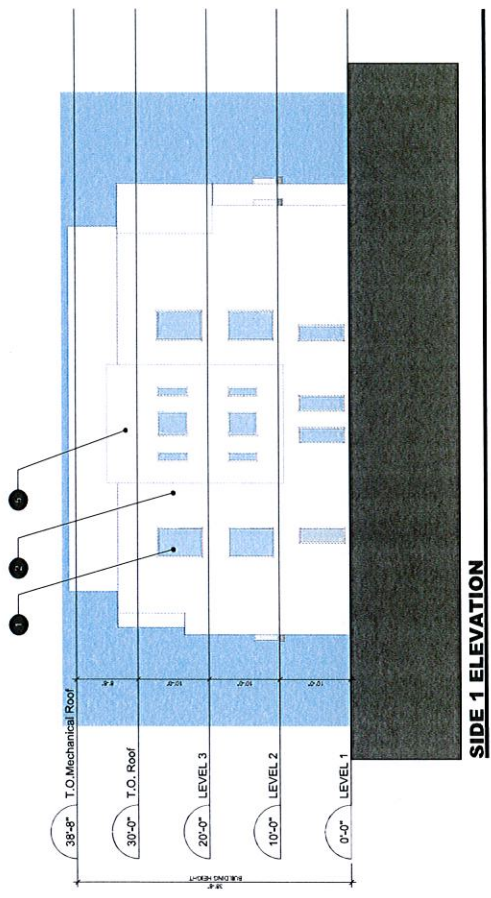
SOUTH ELEVATION



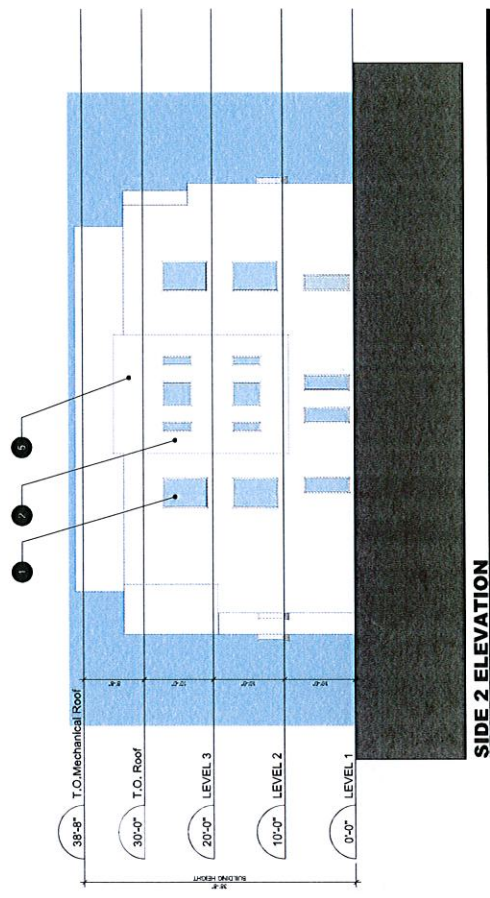
NORTH ELEVATION

OLIVIER DANAN, AIA
ARCHITECTURE + PLANNING

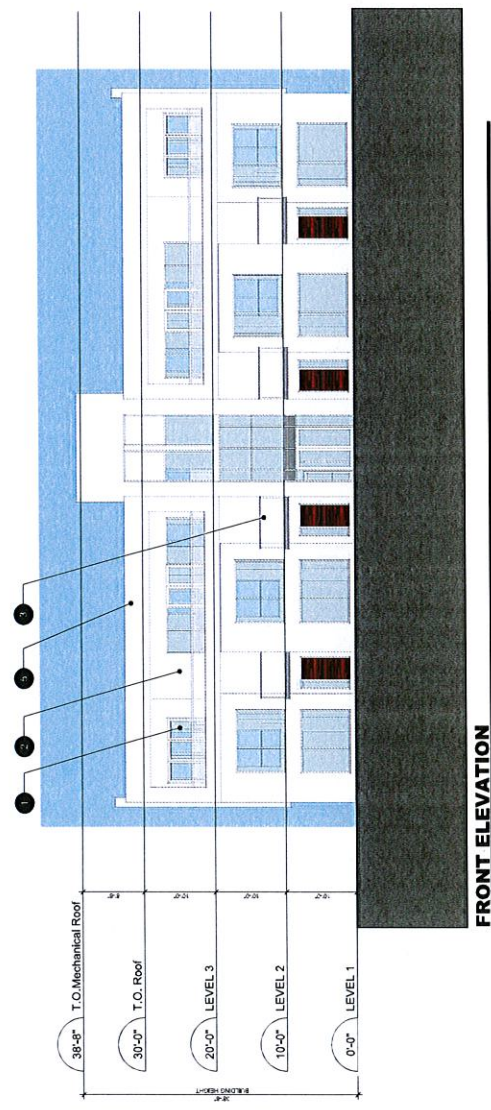
Owner	Architect	Project	Title	Date	Sheet No.
B & H Dania Beach, LLC 2969 NE 191 Street, PH 2 Aventura, FL 33180	DANAN GROUP, INC - OLIVIER DANAN, AIA ARCHITECTURE + PLANNING Overfield Beach, Florida 33441 Tel: 784.227.5482 Email: danan@danangroup.com	Aqua Bella Townhouses	Elevations - Entire Site	05.15.2014	1" = 25'-0" A300
4550 SW 32nd Avenue Dania Beach, FL 33312 - Lots 2-11, Block 1					



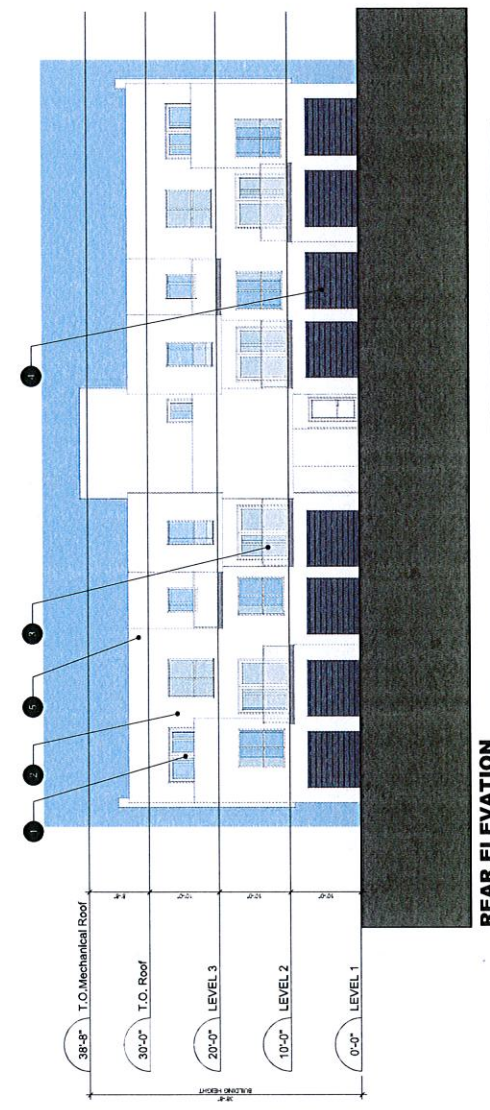
SIDE 1 ELEVATION



SIDE 2 ELEVATION



FRONT ELEVATION

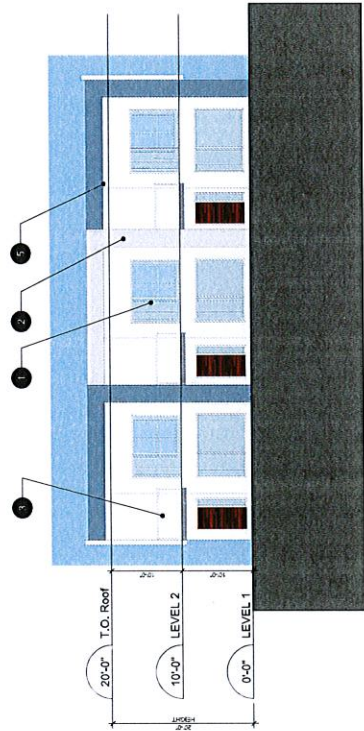


REAR ELEVATION

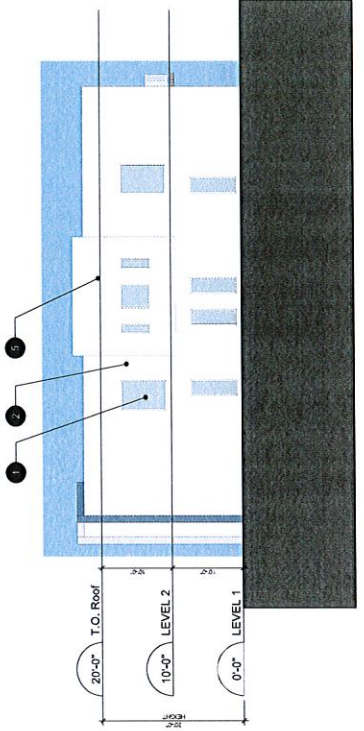
- 1 Window and Glass Detail, Prepared with AutoCAD
- 2 Civil and Floor Plans, Prepared with AutoCAD
- 3 Steel and Metal Decking (RHS), Prepared with AutoCAD
- 4 Mechanical and Electrical (MEP), Prepared with AutoCAD
- 5 Roofing and Siding, Prepared with AutoCAD
- 6 Exterior Wall Finishes, Prepared with AutoCAD
- 7 Metal Garage Door, Prepared with AutoCAD

	Owner B & H Dania Beach, LLC 2959 NE 1st Street, PH 2 Pompano, FL 33186	Architect DANAN GROUP, INC - OLIVIER DANAN, AIA 500 University Drive, Suite 1030 Deerfield Beach, Florida 33441 Tel: 1724.27.7262, Email: danan@danangroup.com	Project Aqua Bella Townhouses	Title Elevations - Building Type 1 & 3	Address 4550 SW 32nd Avenue Dania Beach, FL 33312 - Lots 2-11, Block 1	Date 05.15.2014	Scale 1/8" = 1'-0"	Sheet No. A301
	ELEVATIONS - BUILDING TYPE 1 & 3							

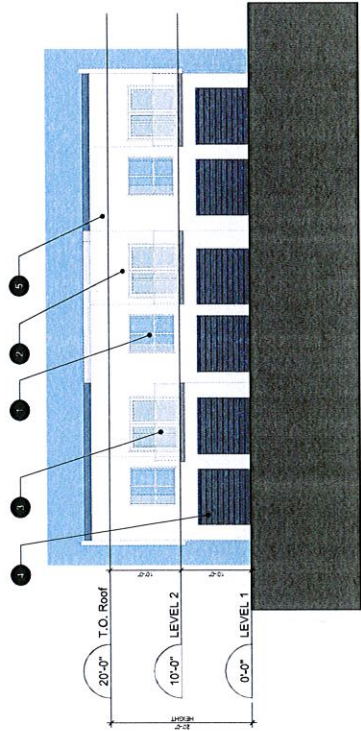
- 1 Windows and Glass Curtains
- 2 Glass Wall Panels
- 3 Glass and Metal Fabrication
- 4 Metal Curtain Wall
- 5 Structural Steel Framing



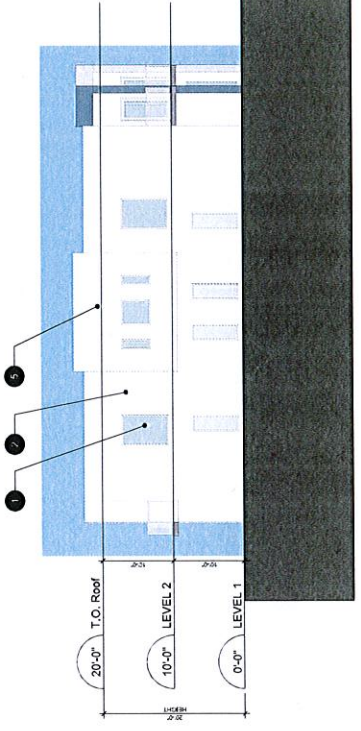
FRONT ELEVATION



SIDE 1 ELEVATION



REAR ELEVATION



SIDE 2 ELEVATION



Owner
 B & H Dania Beach, LLC
 2999 NE 191 Street, PH-2
 Aventura, FL 33180

Architect
 DANAN GROUP, INC. - OLIVIER DANAN, AIA
 ARCHITECTURE + PLANNING
 3341 NE 191 Street, Suite 3341
 Dania Beach, FL 33017
 Tel: 754.227.6482 Email: danan@danangroup.com

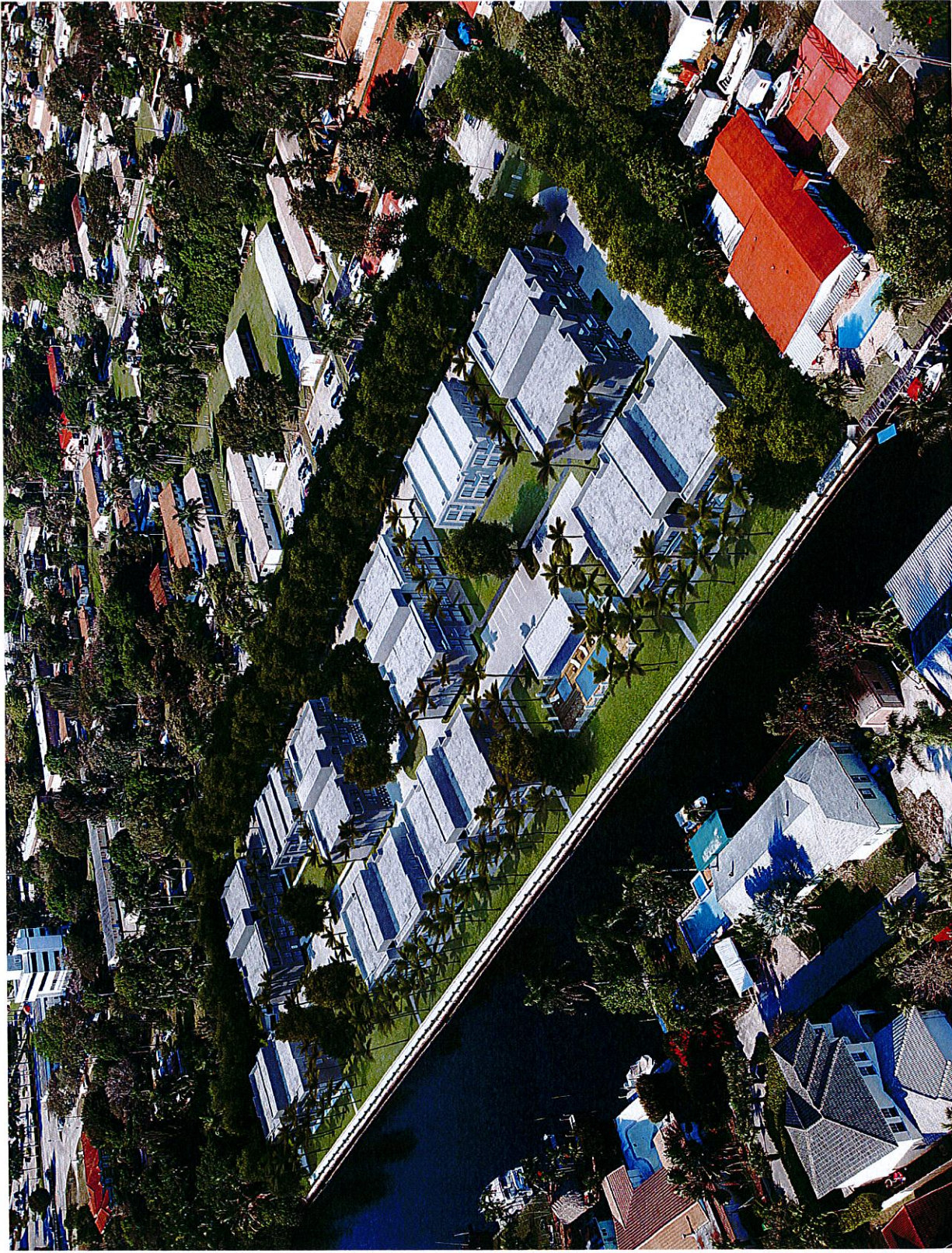
Project
 Aqua Bella Townhouses

Title
 Elevations - Building Type 2

Address
 4550 SW 32nd Avenue
 Dania Beach, FL 33312 - Lots 2-11, Block 1

Date 05.15.2014
Scale 1/8" = 1'-0"
Sheet No. A302

MARKER 2 DANAN, AIA
 ARCHITECT, L.C. IN FL 1974



DATE PLOTTED: 05/15/2014 10:00 AM

Sheet No. A600
Date 05.15.2014
Scale NTS

Address
4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

Title
3D View

Project
Aqua Bella Townhouses

Architect
DANAN GROUP, INC - OLIVER DAMAN, AIA
ARCHITECTURE • PLANNING
Dorfield Beach, Florida 33441
Tel: 754.277.5652 Email: danan@danangroup.com

Owner
B & H Dania Beach, LLC
2899 NE 1st Street, PH 2
Aventura, FL 33180





OLIVIER DANAN, AIA
ARCHITECTURE + PLANNING

Owner

B & H Dania Beach, LLC
2890 NE 191 Street, PH-2
Aventura, FL 33180

Architect

DANAN GROUP, INC - OLIVIER DANAN, AIA
ARCHITECTURE + PLANNING
300 Jeffrey Avenue, Suite 300
Coral Gables, Florida 33134
Tel: 784.277.6482 Email: danan@danangroup.com

Project

Aqua Bella Townhouses

Title

3D View

Address

4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

Date

05.15.2014

Scale

NTS

Sheet No.

A601



DATE PLOTTED: 05/15/2014 10:00 AM

Date 05.15.2014
Scale NTS
Sheet No. A602

Address 4550 SW 32nd Avenue
 Dania Beach, FL 33312 - Lots 2-11, Block 1

Title 3D View

Project Aqua Bella Townhouses

Architect DANAN GROUP, INC. - OLIVIER DANAN, AIA
 560 Parkway Drive, Suite 103B
 Fort Lauderdale, FL 33309
 Tel: (954) 277-6462 | Email: oledan@danagroup.com

Owner B & H Dania Beach, LLC
 2989 NE 191 Street, PH-2
 Aventura, FL 33180





OLIVIER DANAN, AIA
ARCHITECTURE + PLANNING

Date 05.15.2014 Scale NTS Sheet No. A603

Address 4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

Title 3D View

Project Aqua Bella Townhouses

Architect DANAN GROUP, INC. - OLIVIER DANAN, AIA
ARCHITECTURE + PLANNING
2999 NE 191 Street, PH 2
Dania Beach, Florida 33341
Tel: 754.227.6482 Email: danan@danan.com

Owner B & H Dania Beach, LLC
2999 NE 191 Street, PH 2
Aventura, FL 33180





Owner
 B & H Dania Beach, LLC
 2959 NE 81 Street, PH 2
 Aventura, FL 33179

Architect
 DAMAN GROUP, INC. - OLIVIER DAMAN, AIA
 500 PINEAPPLE AVENUE, SUITE 1100
 Doral, Florida, 33126
 Tel: 784.277.2622 | Email: daman@damangroup.com

Project
 Aqua Bella Townhouses

Title
 3D View

Address
 4550 SW 32nd Avenue
 Dania Beach, FL 33312 - Lots 2-11, Block 1

Date 05.15.2014
Scale NTS
Sheet No. A604

DATE PLOTTED: 05/15/2014 10:57:17 AM
 DRAWING FILE: A604.dwg



UNIVERSITY OF FLORIDA
ARCHITECTURAL CENTER



Owner
B & H Dania Beach, LLC
2859 NE 1st Street, PH-2
Aventura, FL 33180

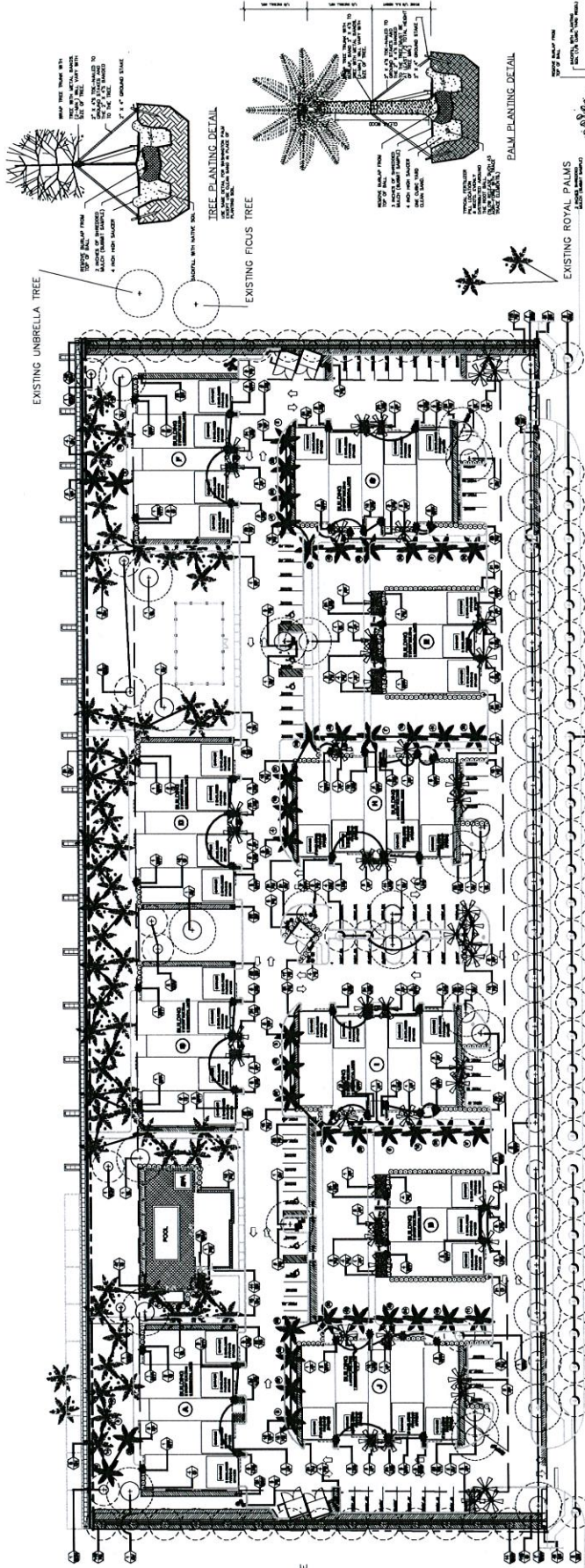
Architect
DAMAN GROUP, INC. - OLIVIER DAMAN, AIA
10000 BAYVIEW BLVD., SUITE 1100
560 Palmetto Drive, Suite 1100B
Doral, FL 33126
Tel: (305) 276-2921 Email: daman@damangroup.com

Project
Aqua Bella Townhouses

Title
3D View

Address
4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

Date 05.15.2014
Scale NTS
Sheet No. A605

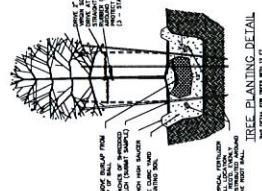


LEGEND

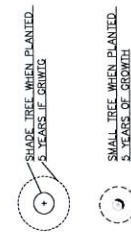
No. Plants	Key	Latin Name	Common Name	Size
TREES				
14	BA	Bursera graveolens	Business Olive	10'-12" x 4" - 6" dbh
21	SB	Conocarpus strictus	Green Buttonwood Tree	15'-18" x 4" - 6" dbh (6"-clear trunk min.)
22	SL	Conocarpus strictus	Green Buttonwood Tree	15'-18" x 4" - 6" dbh
23	SM	Leptochloa spicata	Coqui Grass	10'-12" x 4" - 6" dbh
24	DM	Leptochloa spicata	Coqui Grass	10'-12" x 4" - 6" dbh
15	DT	Banksia integrifolia	Use Only	15'-18" x 4" - 6" dbh (6"-clear trunk min.)
PALMS				
64	OP	Chorizanthe hirtella	Caribbean Cotton Palm	10'-12" x 4" - 6" dbh
7	CA	Coccothrinax crinita	Caribbean Coconut Palm	10'-12" x 4" - 6" dbh
25	SB	Conocarpus strictus	Green Buttonwood Tree	15'-18" x 4" - 6" dbh
16	AD	Phytolacca integrifolia	Alternate Palm	14'-18" dbh
17	AD	Phytolacca integrifolia	Alternate Palm	14'-18" dbh
18	AD	Phytolacca integrifolia	Alternate Palm	14'-18" dbh
19	AD	Phytolacca integrifolia	Alternate Palm	14'-18" dbh
20	AD	Phytolacca integrifolia	Alternate Palm	14'-18" dbh
SHRUBS				
204	OR	Chorizanthe hirtella	Caribbean Cotton Palm	2' x 2' in height
205	OR	Chorizanthe hirtella	Caribbean Cotton Palm	2' x 2' in height
206	OR	Chorizanthe hirtella	Caribbean Cotton Palm	2' x 2' in height
207	OR	Chorizanthe hirtella	Caribbean Cotton Palm	2' x 2' in height
135	LEG	Liriodendron speciosum	Emerald Green Liriodendron	12' x 12" dbh
209	RM	Podocarpus microcarpa	Podocarpus Grass	12' x 12" dbh
210	TO	Hesperis matronalis	Evening Primrose	24" x 24" dbh
Palmetto Therapeutic Soil				

NOTE: EXISTING ROYAL PALMS AND COCONUT PALMS INDICATES TREE RELOCATED WHICH IS ON SIZE AS MITIGATION. ALL OTHER EXISTING TREES WILL BE PAID FOR AS MITIGATION.

GENERAL NOTES:
1. ALL PLANT MATERIAL IS TO BE DELIVERED TO THE SITE BY THE CONTRACTOR.
2. ALL PLANT MATERIAL IS TO BE PLANTED WITHIN THE SPECIFIED DEADLINES.
3. ALL PLANT MATERIAL IS TO BE PLANTED WITHIN THE SPECIFIED DEADLINES.
4. ALL PLANT MATERIAL IS TO BE PLANTED WITHIN THE SPECIFIED DEADLINES.
5. ALL PLANT MATERIAL IS TO BE PLANTED WITHIN THE SPECIFIED DEADLINES.



NOTE: VEHICLE USE AREA LANDSCAPE IS EQUAL TO 29%.



Owner
B & H Dennis Beach, LLC
2000 NE 191 Street, PH 2
Aventura, FL 33180

Architect
DAMAN GROUP, INC. - OLIVER DAMAN, AIA
ARCHITECTURE & PLANNING
Dorland Beach, Florida 33101
Tel: 781.227.2452 Email: daman@damangroup.com

Project
Aqua Bella Townhouses

Title
Landscape Plan

Address
4550 SW 32nd Avenue
Dania Beach, FL 33312 - Lots 2-11, Block 1

Date
05.15.2014

Scale
1"=30'-0"

Sheet No.
L1.0



AQUA BELLA TOWNHOUSES & PENTHOUSES

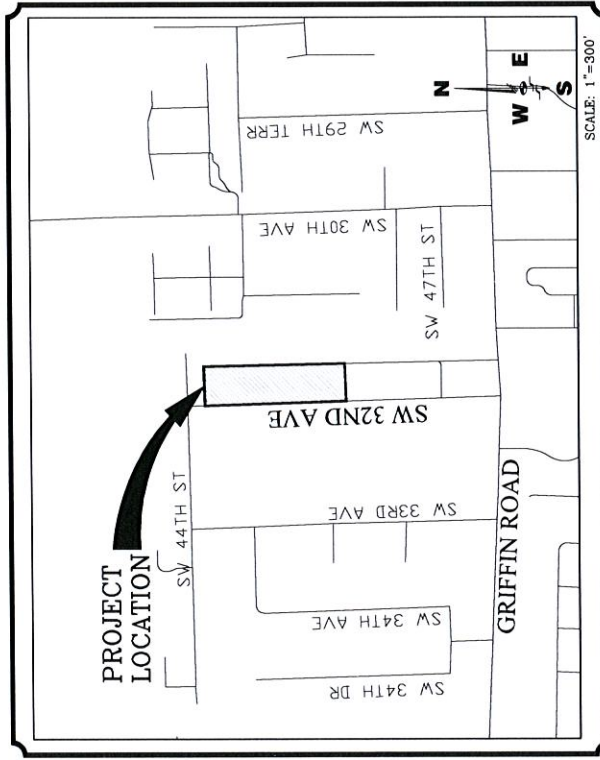
4430 S.W. 32ND AVENUE, DANIA BEACH, FL 33312

CIVIL SITE DEVELOPMENT PLANS

December 2013

EXISTING LEGEND

- SW 44TH ST
- SW 32ND AVE
- SW 33RD AVE
- SW 34TH AVE
- SW 34TH DR
- SW 47TH ST
- SW 30TH AVE
- SW 29TH TERR
- GRIFFIN ROAD



LOCATION SKETCH

SEC. 30, TWP. 50, RNG. 42

prepared by

SCHWEBKE - SHISKIN & ASSOCIATES, INC.

3240 CORPORATE WAY, MIRAMAR, FL. 33025

LAND PLANNERS - ENGINEERS - LAND SURVEYORS (LB & CA#87)
 TEL: (305)652-7010 FAX: (305)652-8284

SITE PLAN SUBMITTAL
 FILE No. B-1951

C-1

SHEET 1 OF 19

By: John G. Falco, P.E.
 Project Manager
 Registered Engineer No. 71667
 State of Florida

Drawing Title	Sheet Number
COVER	C-1
WATER & SEWER FACILITIES	C-2
WATER & SEWER FACILITIES	C-3
WATER & SEWER DETAILS	C-4
WATER & SEWER DETAILS	C-5
WATER & SEWER DETAILS	C-6
WATER & SEWER DETAILS	C-7
PAVING, GRADING & DRAINAGE KEY SHEET	C-8
PAVING, GRADING & DRAINAGE	C-9
PAVING, GRADING & DRAINAGE	C-10
CROSS SECTIONS	C-11
PAVING, GRADING & DRAINAGE DETAILS	C-12
PAVING, GRADING & DRAINAGE DETAILS	C-13
PAVING, GRADING & DRAINAGE KEY SHEET	C-14
PAVEMENT MARKINGS & SIGNAGE	C-15
PAVEMENT MARKINGS & SIGNAGE	C-16
EROSION AND SEDIMENT CONTROL	C-17
EROSION AND SEDIMENT CONTROL DETAILS	C-18
EROSION AND SEDIMENT CONTROL DETAILS	C-19



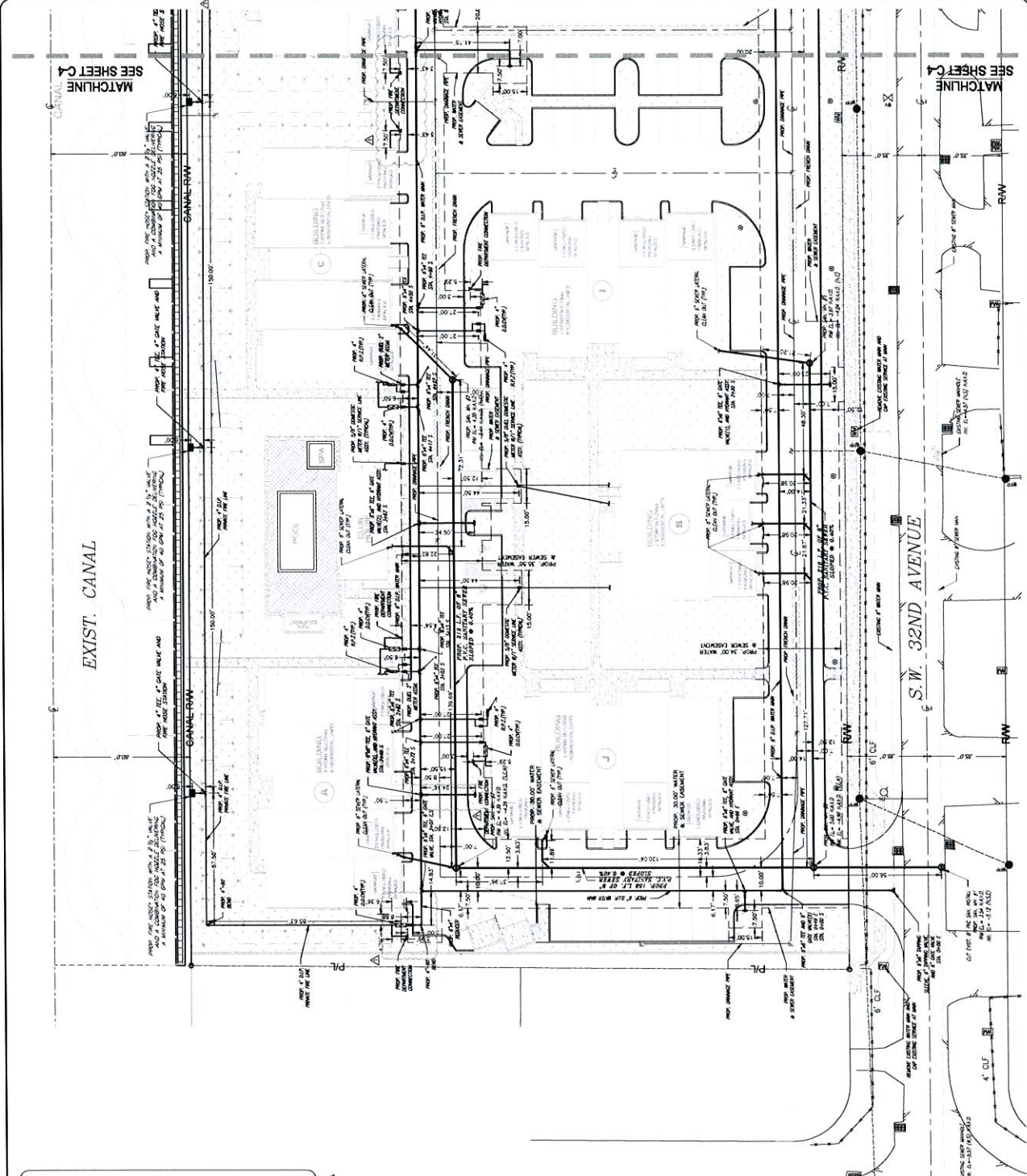
Schwelbe
Shiskin &
Associates, Inc.
LAND SURVEYORS
LAND PLANNERS
LEP 87
3640 CORPORATE WAY
SUITE 200
DANIA BEACH, FLORIDA 33429
TEL: (904) 965-7919
FAX: (904) 965-8884

REVISIONS

NO.	DATE	DESCRIPTION
1	12/18/03	ISSUED FOR PERMITS
2	01/07/04	REVISED PER COMMENTS
3	02/05/04	REVISED PER COMMENTS
4	03/04/04	REVISED PER COMMENTS
5	04/08/04	REVISED PER COMMENTS
6	05/11/04	REVISED PER COMMENTS
7	06/15/04	REVISED PER COMMENTS
8	07/19/04	REVISED PER COMMENTS
9	08/23/04	REVISED PER COMMENTS
10	09/27/04	REVISED PER COMMENTS
11	10/31/04	REVISED PER COMMENTS
12	11/25/04	REVISED PER COMMENTS
13	12/19/04	REVISED PER COMMENTS
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67	06/16/09	REVISED PER COMMENTS
68	07/16/09	REVISED PER COMMENTS
69	08/18/09	REVISED PER COMMENTS
70	09/18/09	REVISED PER COMMENTS
71	10/18/09	REVISED PER COMMENTS
72	11/18/09	REVISED PER COMMENTS
73	12/18/09	REVISED PER COMMENTS
74	01/21/10	REVISED PER COMMENTS
75	02/19/10	REVISED PER COMMENTS
76	03/19/10	REVISED PER COMMENTS
77	04/20/10	REVISED PER COMMENTS
78	05/20/10	REVISED PER COMMENTS
79	06/22/10	REVISED PER COMMENTS
80	07/22/10	REVISED PER COMMENTS
81	08/24/10	REVISED PER COMMENTS
82	09/24/10	REVISED PER COMMENTS
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84	11/24/10	REVISED PER COMMENTS
85	12/24/10	REVISED PER COMMENTS
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87	02/24/11	REVISED PER COMMENTS
88	03/24/11	REVISED PER COMMENTS
89	04/26/11	REVISED PER COMMENTS
90	05/26/11	REVISED PER COMMENTS
91	06/28/11	REVISED PER COMMENTS
92	07/28/11	REVISED PER COMMENTS
93	08/29/11	REVISED PER COMMENTS
94	09/29/11	REVISED PER COMMENTS
95	10/29/11	REVISED PER COMMENTS
96	11/29/11	REVISED PER COMMENTS
97	12/29/11	REVISED PER COMMENTS
98	01/31/12	REVISED PER COMMENTS
99	02/28/12	REVISED PER COMMENTS
100	03/28/12	REVISED PER COMMENTS

AGUA BELLA TOWNHOMES & PONDLOUSES
WATER & SEWER FACILITIES LAYOUT
CITY OF DANIA BEACH, FLORIDA, SEC. 30-50-42

Drawn By: JAL Date: 12/18/03
Checked By: JET Date: 02/07/04
Order No: 030208 PR 2000 74
Drawing Title: SEE SHEET C
By: JOHN C. TRILLI, D.E.
Professional Seal No. 71157
Registered Engineer in Florida
Scale of Prints
Sheet: AM Noted
Title No: B-1951
Dwg. No.: C-3
OF: (1-1)



LEGEND

- ⊙ DENOTES PROPOSED FIRE HYDRANT ASSEMBLY
- ⊠ DENOTES PROPOSED SHAMSH: CONNECTION STANDPIPE
- ⊡ DENOTES EXISTING WATERMAN
- ⊢ DENOTES FIRE HOSE STATION WITH 2.5" VALVE AND 10G NOZZLE
- ⊣ DENOTES WATER VALVE
- ⊤ DENOTES DOUBLE DETECTOR CHECK VALVE
- ⊥ DENOTES WATER METER
- ⊦ DENOTES REDUCED PRESSURE BACKFLOW PREVENTOR
- ⊧ DENOTES WATER MAIN TEE
- ⊨ DENOTES SANITARY SEWER MANHOLE
- ⊩ DENOTES SANITARY SEWER CLEANOUT
- ⊪ DENOTES EXISTING FIRE HYDRANT
- ⊫ DENOTES WATER METER

PROTECTION OF WATER, SEWER & SOLID WASTE MAINS
 35 RESIDENTIAL UNITS FOR COMMERCIAL USE (SEWAGE UNITS) ALL OTHER
 RESIDENTIAL UNITS HAVE THREE BEDROOMS
 15 BATHROOMS (3 BATHROOMS) 300 GPD
 15 BATHROOMS (2 BATHROOMS) 200 GPD
 2 BATHROOMS (2 BATHROOMS) 250 GPD
 15 BATHROOMS (2 BATHROOMS) 300 GPD
 2 BATHROOMS (2 BATHROOMS) 350 GPD
TOTAL SOLID WASTE PRODUCTION
 35 RESIDENTIAL UNITS @ 65 LBS/UNIT/DAY = 2275 LBS/DAY
 RESIDENTIAL UNITS @ 65 LBS/UNIT/DAY = 2275 LBS/DAY
 • TOTAL SOLID WASTE MAINS - 4000 GPD



NO.	DATE	DESCRIPTION

CONNECTION OF WATER, SEWER & WASTE WATER DRAINAGE

1. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

2. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

3. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

4. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

5. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

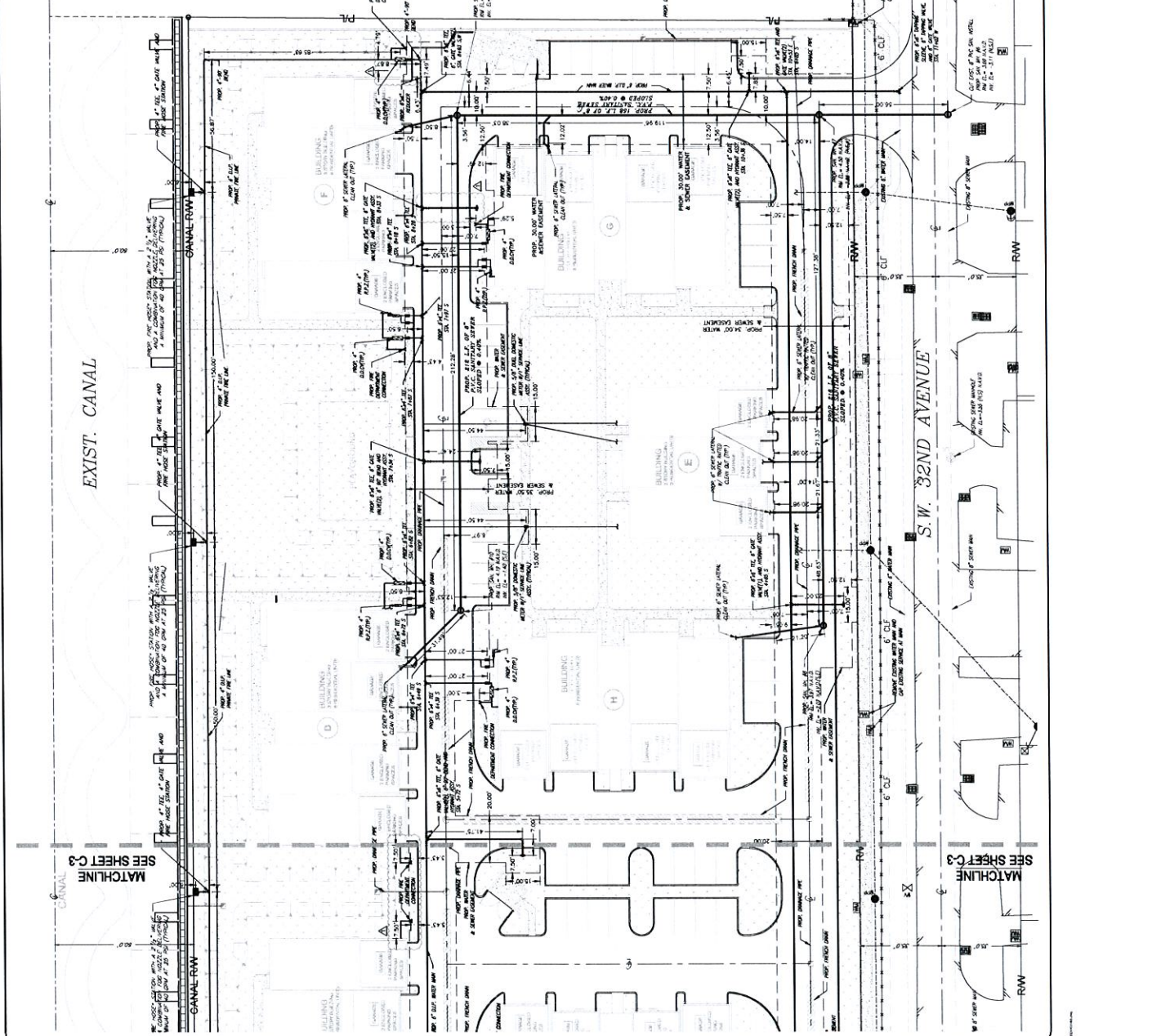
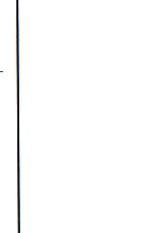
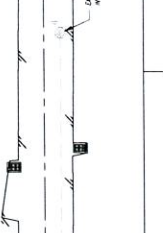
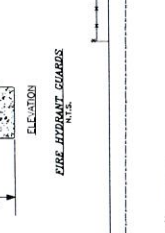
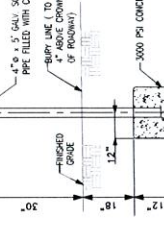
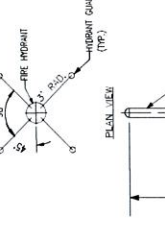
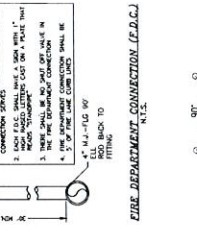
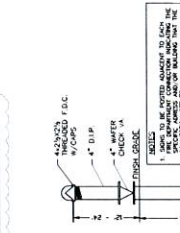
6. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

7. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

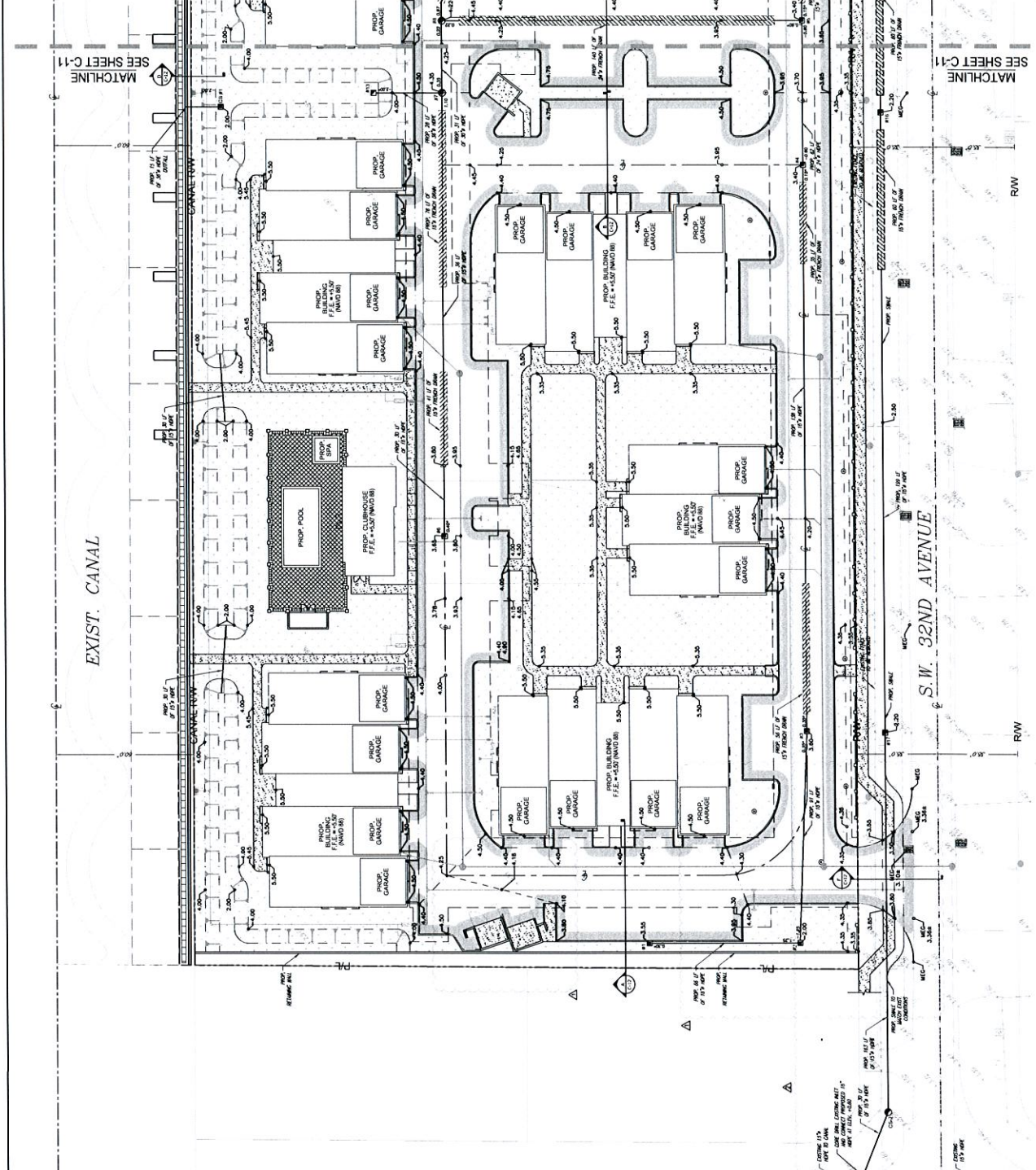
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9. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.

10. ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SIXTH EDITION, N.C.S.A. SECTION 210-1.01, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER AND WATER MAINS, SEVENTH EDITION, N.C.S.A. SECTION 210-1.01.



NO.	DATE	REVISIONS
1	01/15/13	ISSUE FOR PERMITS
2	01/15/13	ISSUE FOR PERMITS
3	01/15/13	ISSUE FOR PERMITS
4	01/15/13	ISSUE FOR PERMITS
5	01/15/13	ISSUE FOR PERMITS
6	01/15/13	ISSUE FOR PERMITS
7	01/15/13	ISSUE FOR PERMITS
8	01/15/13	ISSUE FOR PERMITS
9	01/15/13	ISSUE FOR PERMITS
10	01/15/13	ISSUE FOR PERMITS



PAVING, GRADING & DRAINAGE LEGEND

- DENOTES PROPOSED PAVEMENT SECTION.
- PROPOSED CONCRETE SIDEWALKS.
- PROPOSED SMOOCH LINE / MATCH EXISTING GRADE
- PROPOSED FLOW ARROW
- PROPOSED FLOW LINE
- DENOTES SIDE-SLOPES ALONG BERMS OR SWALES
- DENOTES PROPOSED FINISHED SURFACE ELEVATION (I.E. TOP OF FINISHED SURFACE, CONCRETE FINISHED GRADE, ETC.)
- DENOTES TWO PROPOSED ELEVATIONS:
- TOP ELEVATION = TOP OF CURB / TOP OF THICKENED EDGE
- BOTTOM ELEVATION = EDGE OF PAVEMENT
- MATCH EXISTING GRADE
- REFER TO SHEET C-12 FOR CORRESPONDING CROSS-SECTION
- DENOTES PROPOSED CATCH BASIN
- DENOTES PROPOSED DRAINAGE MANHOLE

NOTES TO THE CONTRACTOR

- ALL PROPOSED GRADES SHOWN ON THIS PLAN ARE TO THE FINISHED SURFACE (I.E. TOP OF FINISHED GRADE, IN GREEN AREAS) UNLESS OTHERWISE SPECIFIED.
- MINIMUM LONGITUDINAL SLOPE = 3.0%
- FOR ALL CONCRETE AREAS WITHIN THE PROPERTY LIMITS, THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS ON DECORATIVE FINISHES (GRAPE, NATURAL, ETC.)

SEWER DRAINAGE NOTE

THE PROPOSED SEWER DRAINAGE SYSTEM WILL BE CONSTRUCTED TO THE DESIGN SHOWN HEREIN. THE CONTRACTOR SHALL VERIFY THE EXISTING DESIGN AND MAKE ANY NECESSARY CHANGES TO THE DESIGN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



NO.	DATE	REVISIONS
1	05/14/2010	ISSUE FOR PERMITS
2	05/14/2010	ISSUE FOR PERMITS
3	05/14/2010	ISSUE FOR PERMITS
4	05/14/2010	ISSUE FOR PERMITS
5	05/14/2010	ISSUE FOR PERMITS
6	05/14/2010	ISSUE FOR PERMITS
7	05/14/2010	ISSUE FOR PERMITS
8	05/14/2010	ISSUE FOR PERMITS
9	05/14/2010	ISSUE FOR PERMITS
10	05/14/2010	ISSUE FOR PERMITS

Agua Bella Townhouses & Penthouses
 PAVING, GRADING & DRAINAGE FACILITIES
 LAYOUT
 CITY OF DANIA BEACH, FLORIDA, SEC. 30-50-42

Drawn By: JMS Date: 05/14/2010
 Checked By: JMS Date: 05/14/2010
 Project No.: 200909 Project Name: Agua Bella
 Drawing Title: SEE SHEET C-10
 Project Location: SEE SHEET C-10
 Project Description: SEE SHEET C-10
 Project Status: SEE SHEET C-10
 Project Manager: JMS
 Registered Professional Engineer No. 21687
 State of Florida
 Scale: As Shown
 File No.: B-1951
 Dwg. No.: C-11
 OF: C-19



PAVING, GRADING & DRAINAGE LEGEND

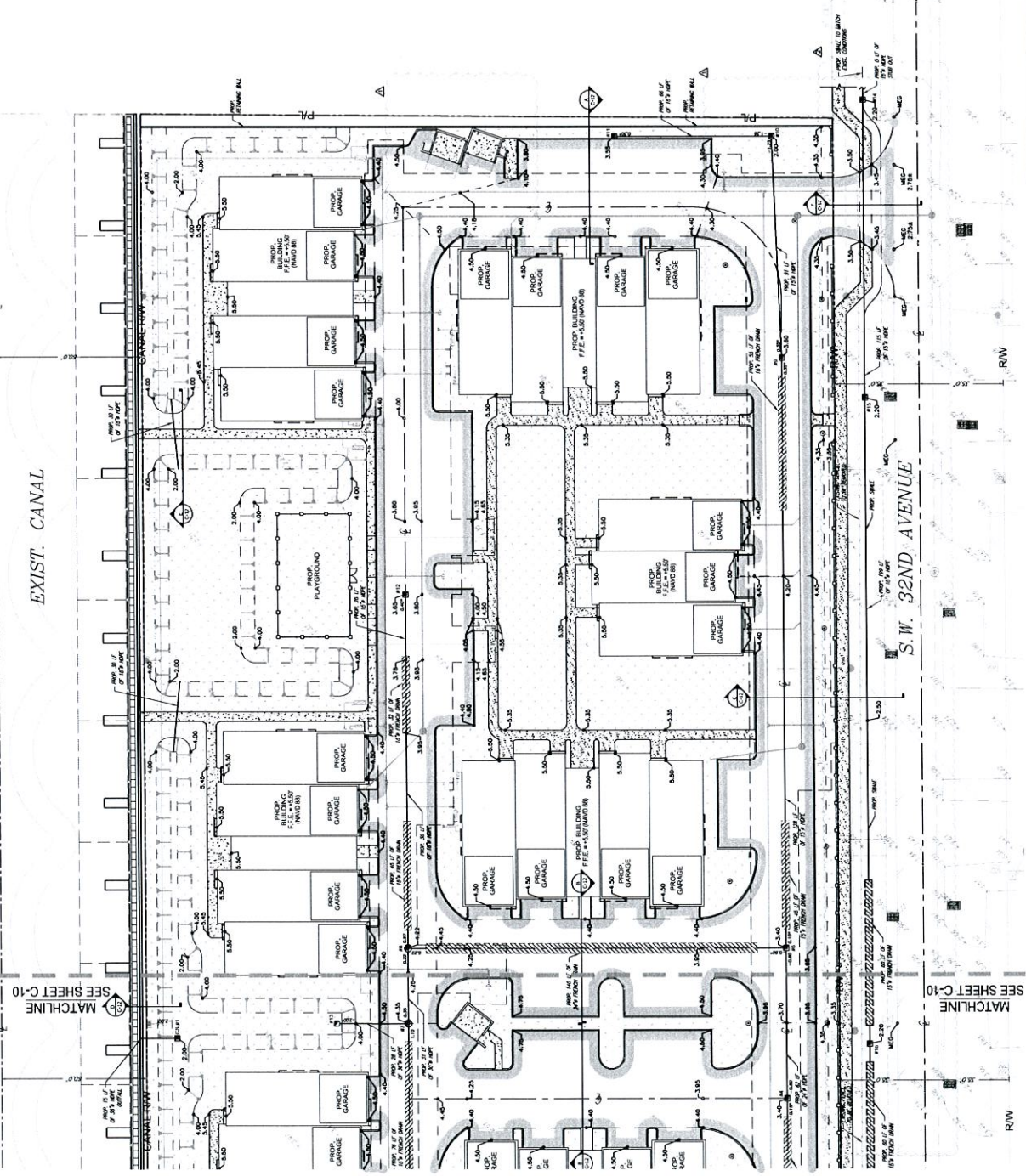
- - DENOTES PROPOSED PAVEMENT SECTION.
- ▨ - PROPOSED CONCRETE SIDEWALKS.
- - PROPOSED SAND/CLAY / MATCH EXISTING GRAZE
- - PROPOSED FLOW ARROW
- - PROPOSED FLOW LINE
- - DENOTES SIDE-SLOPES ALONG BERMS OR SIMILAR
- - DENOTES PROPOSED FINISHED SURFACE ELEVATION (I.E. TOP OF FINISHED SURFACE, CONCRETE FINISHED GRADE, ETC.)
- - DENOTES TWO PROPOSED ELEVATIONS:
- - TOP ELEVATION = TOP OF CURB / TOP OF THICKENED EDGE
- - BOTTOM ELEVATION = EDGE OF PAVEMENT
- - MATCH EXISTING GRAZE
- - REFER TO SHEET C-12 FOR CORRESPONDING CROSS-SECTION
- - DENOTES PROPOSED CATCH BASIN
- - DENOTES PROPOSED DRAINAGE MANHOLE

NOTES TO THE CONTRACTOR

1. ALL PROPOSED GRADINGS SHOWN ON THIS PLAN ARE TO THE FINISHED SURFACE, (I.E. TOP OF FINISHED GRADE, IN GREEN AREAS) AT THE FOLLOWING STANDBARDS:
 a. MINIMUM FINISHED GRADE = 2.00'
 b. MINIMUM FINISHED GRADE = 2.00'
 c. MINIMUM FINISHED GRADE = 2.00'
2. ALL CONCRETE AREAS WITHIN THE PROPERTY LIMITS, THE CONTRACTOR SHALL PROVIDE THE FINISHED GRADE FOR SPECIFICATIONS ON ELEVATIONS, FINISHES (STAINS, PATTERNS, ETC.).

OFFSITE DRAINAGE NOTE

THE PROPOSED OFFSITE DRAINAGE SYSTEM WILL BE CONSTRUCTED TO PROVIDE SUBSTANTIAL FLOOD PROTECTION IMPROVEMENTS. THE PROPOSED CHANGE DUE TO PERMITTING AGENCIES REQUIREMENTS, ENGINEERING DESIGN CHANGES OR UNKNOWN EXISTING CONDITIONS.



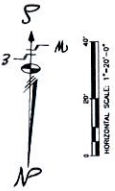
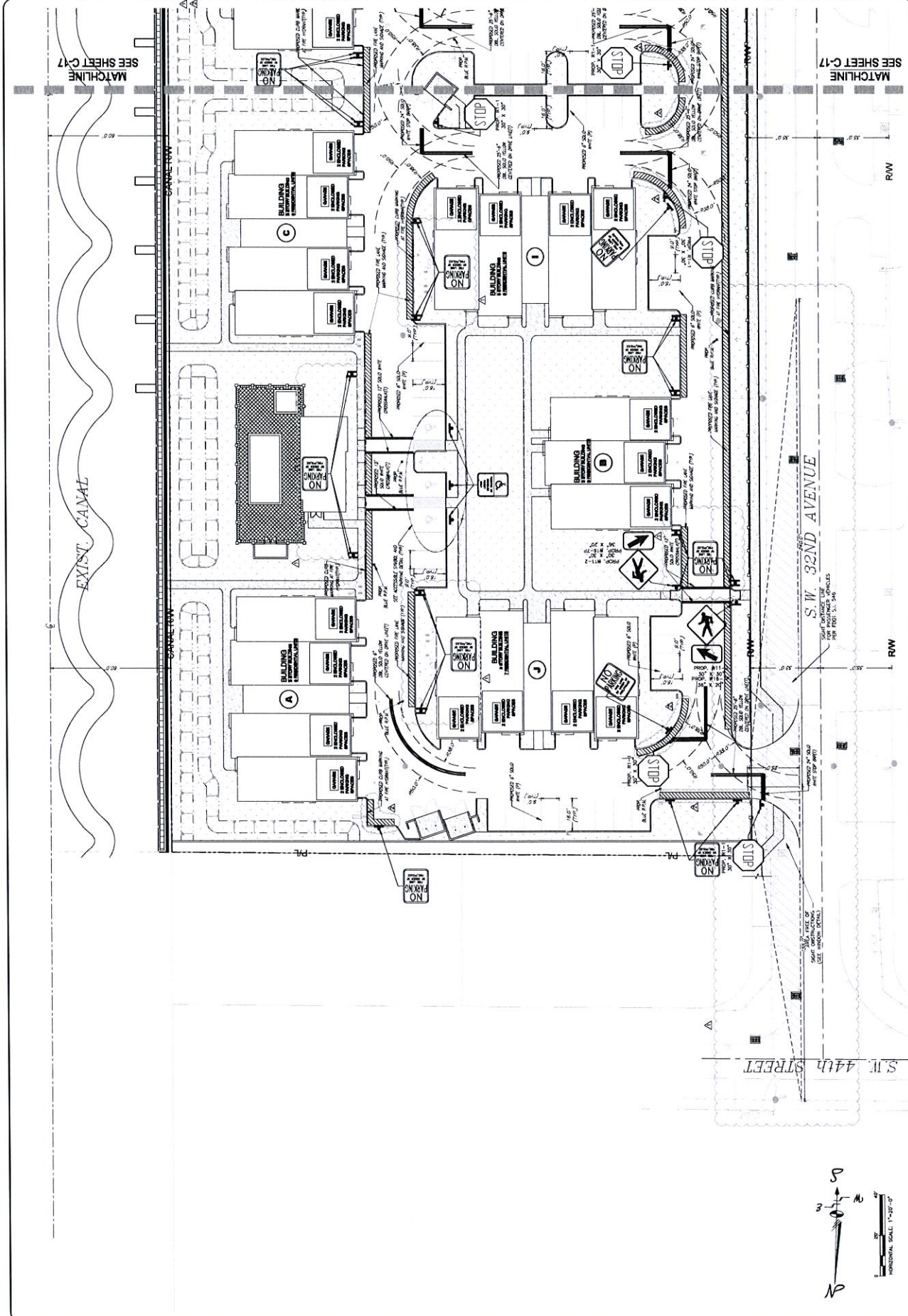
Schwabke Skislin & Associates, Inc.
 CIVIL ENGINEERS
 1845 CORPORATE WAY
 MIAMI, FL 33133
 TEL: (305) 666-2919
 FAX: (305) 666-2919

NO.	REVISIONS	DATE	BY
1	ISSUE FOR PERMITS	02/12/13	AS
2	REVISED PER COMMENTS	02/12/13	AS

APRA BELLA FURNITURES & POULTRONES
 PAVEMENT MARKINGS & SIGNAGE PLAN
 CITY OF DANIA BEACH, FLORIDA, SEC. 30-50-42

Drawn By: JAL Date: 02/12/13
 Checked By: JCT Date: 02/12/13
 Order No: 1000001000000000
 Drawing Status: FOR PERMITS

By: John C. Tello, P.E.
 Project Manager
 Registered Engineer No. 71567
 State of Florida
 Scale: As Noted
 File No: B-1951
 Dwg. No: C-16
 OF: 1-11



MATCHLINE
 SEE SHEET C-7

MATCHLINE
 SEE SHEET C-17

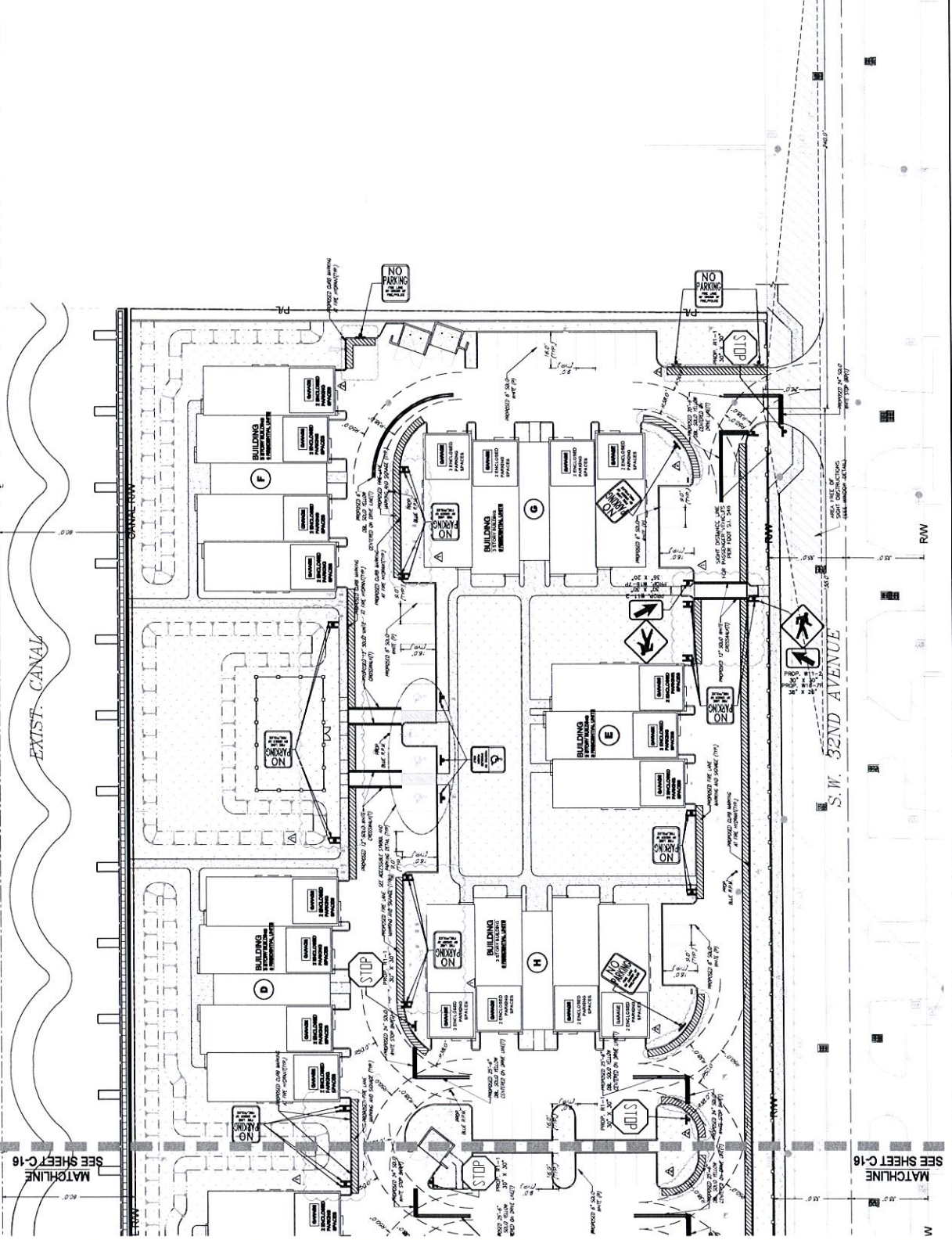
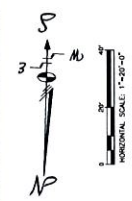
Sawalke Shiskin & Associates, Inc.
 LAND SURVEYORS
 CIVIL ENGINEERS
 PLANNING ARCHITECTS
 3840 CORPORATE WAY
 MIAMI, FL 33155
 TEL: (305) 552-2284
 FAX: (305) 552-2284

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/13	ISSUED FOR PERMITS
2	01/15/13	ISSUED FOR PERMITS
3	01/15/13	ISSUED FOR PERMITS
4	01/15/13	ISSUED FOR PERMITS
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17	01/15/13	ISSUED FOR PERMITS
18	01/15/13	ISSUED FOR PERMITS
19	01/15/13	ISSUED FOR PERMITS
20	01/15/13	ISSUED FOR PERMITS

AGUA BELLA TOWNHOMES & PORCHES
 PAVEMENT MARKINGS & SIGNAGE
 PLAN
 CITY OF DANIA BEACH, FLORIDA, SEC. 30-50-42

Drawn By: JAL Date: 12/17/12
 Checked By: RT Date: 12/19/12
 Project No. 120108 PR, Section 4
 Order No. 120108 PR, Section 4
 Drawing Title: PAVEMENT MARKINGS & SIGNAGE PLAN
 Project Manager: John C. Tello, P.E.
 Project Engineer: Robert J. Tello
 Scale: As Noted
 Date: B-1951
 Dwg. No. C-17
 OF: (1-1)

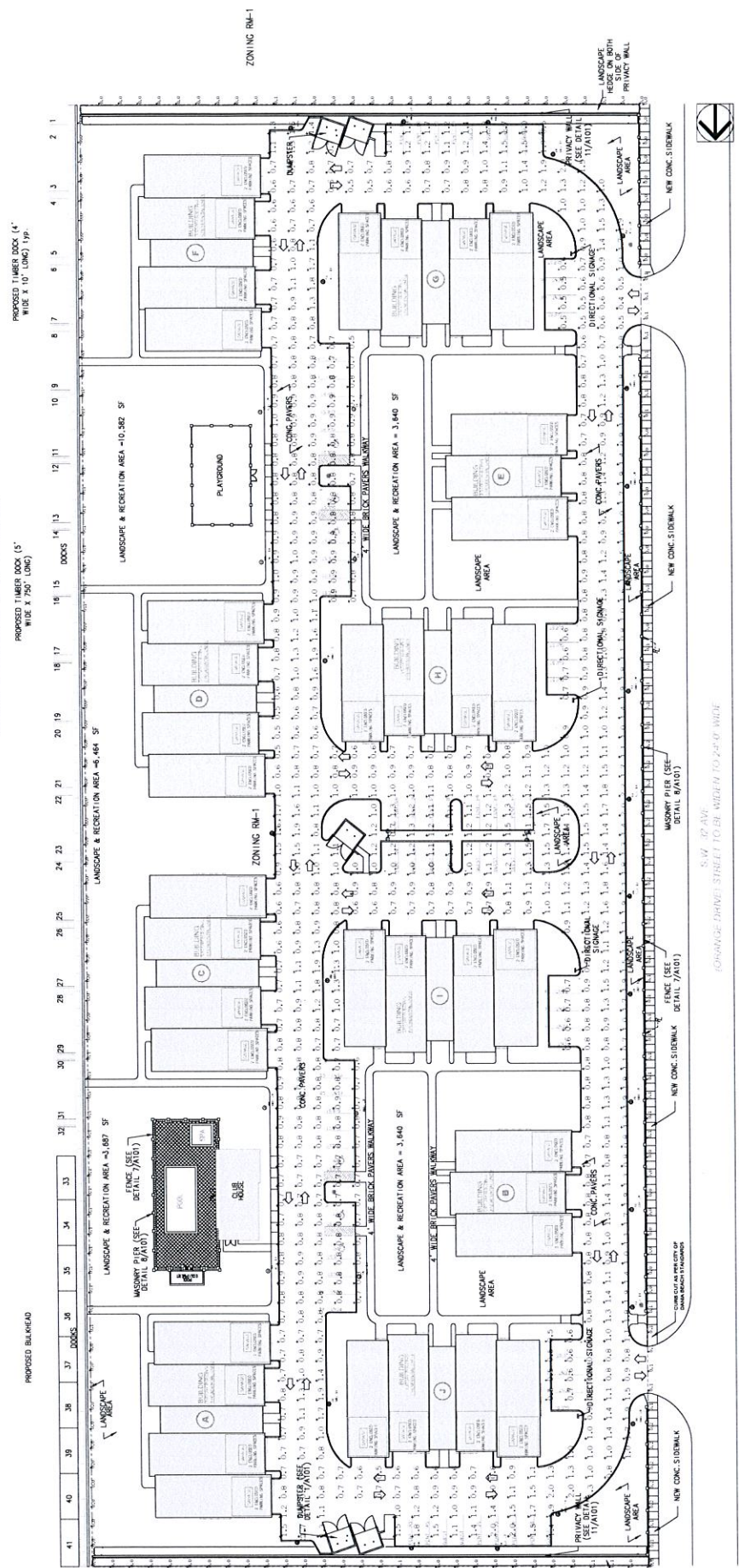


MATCHLINE
 SEE SHEET C-16

MATCHLINE
 SEE SHEET C-16

Lot	Area	Use	Notes
1	1,000	RESIDENTIAL	
2	1,000	RESIDENTIAL	
3	1,000	RESIDENTIAL	
4	1,000	RESIDENTIAL	
5	1,000	RESIDENTIAL	
6	1,000	RESIDENTIAL	
7	1,000	RESIDENTIAL	
8	1,000	RESIDENTIAL	
9	1,000	RESIDENTIAL	
10	1,000	RESIDENTIAL	
11	1,000	RESIDENTIAL	
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Lot	Area	Use	Notes
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38	1,000	RESIDENTIAL	
39	1,000	RESIDENTIAL	
40	1,000	RESIDENTIAL	
41	1,000	RESIDENTIAL	



INTEGRATED ENGINEERS
 REGISTERED PROFESSIONAL ENGINEERS
 STATE OF FLORIDA
 No. 68782
 10000 W. BIRCHWOOD BLVD., SUITE 200
 DANIA BEACH, FL 33312
 TEL: 954.277.7482
 FAX: 954.277.7483
 WWW.INTEGRATEDENGINEERS.COM

FOR DRC REVIEW NOT FOR CONSTRUCTION

Owner	B & H Dania Beach, LLC 2999 NE 191 Street, PH 2 Aventura, FL 33180
Architect	DAMAN GROUP, INC. - OLIVIER DAMAN, AIA ARCHITECTURE + PLANNING 500 Riverside Drive, Suite 3300 Tel: 754.227.7482 Email: damangroup@gmail.com
Project	Acqua Bella Townhouses
Title	Site Lighting/Photometric Plan
Address	4550 SW 32nd Avenue Dania Beach, FL 33312 - Lots 2-11, Block 1
Date	01-02-2014
Scale	1"=25'-0"
Sheet No.	E-100